

**FRONT YARD SET BACK TREE REMOVAL  
REQUEST**

**April 2024**

*Date:* 3/26/2024

*Requested by:* Jason Roberts [jason@peylon.com](mailto:jason@peylon.com)

*Address:* 230 Alameda Padre Serra, Santa Barbara, CA 93103

*Location of Tree:* 230 Alameda Padre Serra, Santa Barbara, CA 93103

*Tree Species:* *Eucalyptus globulus*, *Common Name:* Tasmanian Blue Gum

*Zoning/Setback:* RS-15 30'

*Reason for Removal:* The Eucalyptus tree across the street at 231 Alameda Padre Serra just fell, so we want to prevent our tree from doing the same and damaging property including passing cars and homes. The tree is overgrown and seems to present a risk of falling.

*Proposed Replacement:* Yes  No

*Advisory Committee Recommendation:* Approve Removal:  Deny Removal:  N/A

*Staff Recommendation:* Approve Removal:  Deny Removal:  N/A

*Date Posted:*

*Comments:*

**PHOTO INVENTORY**



Front Yard 230 Alameda Padre Serra – Jason Roberts 4-24-24

# Tree Removal Application

## APPLICANT/OWNER DETAILS

<input type="text" value="Roberts"/>	<input type="text" value="Jason"/>	
YOUR LAST NAME	YOUR FIRST NAME	
<input type="text"/>		
OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)		
<input type="text" value="230 Alameda Padre Serra"/>		
YOUR MAILING ADDRESS		
<input type="text" value="Santa Barbara"/>	<input type="text" value="CA"/>	<input type="text" value="93103"/>
CITY	STATE	ZIP CODE
<input type="text" value="4153422068"/>	<input type="text" value="jason@pelyon.com"/>	
DAYTIME PHONE	EMAIL ADDRESS	

## TREE INFORMATION

TYPE OF TREE:    **SETBACK TREE(S)**     **STREET TREE(S)**

<input type="text" value="1"/>	<input type="text" value="230 Alameda Padre Serra, Santa Barbara, CA 93103"/>
NUMBER OF TREES	LOCATION OF TREE(S) - please be sure to indicate the <b>property address</b> where the trees are located

SPECIES OF TREE(S), IF KNOWN

**REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:**

- Whether or not the removal application is associated with new development or redevelopment of property
- Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
- Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark

If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

The eucalyptus tree across the street at 231 APS just fell down, so we want to prevent our tree from doing the same and damaging property including passing cars and homes. The tree is over grown and seems to present a risk of falling given the tree just 30 feet away did just that. My setback tree is on the east side of my driveway entrance and is about 60' tall. I don't believe it is a designated specimen or historic tree. I believe my neighbor at 240 APS wants to remove his large eucalyptus tree as well for the same reason. We have an estimate from Cicelio's Tree Service to remove both trees at the same time.

WILL YOU REPLACE THE TREE(S)?    YES     NO

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?

**From:** [Jason Roberts](#)  
**To:** [Nathan Slack](#)  
**Cc:** [Patricia Herrera](#)  
**Subject:** Re: Tree Removal Permit application  
**Date:** Tuesday, March 26, 2024 1:08:28 PM

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Hi Nathan and Patricia,

Attached are three more photos of the tree referenced in my removal application for 230 APS. Thank you for adding them to the approval process. If I could, I'd also like to add a short addendum to the text:

The tree is at the APS end of my 300 foot driveway which drains water from my property plus four properties above mine located on La Vista Grand. The driveway is basically a long culvert for the hillside and whenever it rains a river of water streams down the driveway past the tree onto APS. I do worry the moisture from the water adds to its instability. As previously mentioned, this is a very busy section of APS, and the traffic and 3 different homes are at risk if it falls down. The city removed one Eucalyptus tree that fell down at 231 APS this February and removed a 2nd one next to it that was deemed unstable. We are not asking the city to pay for the removal. Thank you.

-Jason and Diane Roberts

And thank you Nathan and Patricia!

Sincerely,

Jason Roberts

On Tue, Mar 26, 2024 at 11:32 AM Nathan Slack <[nslack@santabarbaraca.gov](mailto:nslack@santabarbaraca.gov)> wrote:

Hi Jason

Please feel free to send the supplemental photos to both myself and Patricia, who is copied on this email. We'll make sure to include in the application.

**Nathan Slack**

*Urban Forest Superintendent*

CITY OF SANTA BARBARA, Parks & Recreation

(805) 564-5592 | [nslack@SantaBarbaraCA.gov](mailto:nslack@SantaBarbaraCA.gov)

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**From:** Jason Roberts <[jason@pelyon.com](mailto:jason@pelyon.com)>

**Sent:** Tuesday, March 26, 2024 11:18 AM

**To:** Nathan Slack <[nslack@SantaBarbaraCA.gov](mailto:nslack@SantaBarbaraCA.gov)>









**FRONT YARD SET BACK TREE REMOVAL  
REQUEST**

**April 2024**

*Date:* 3/26/2024

*Requested by:* Gail Fisher [Gail.L.Fisher@gmail.com](mailto:Gail.L.Fisher@gmail.com)

*Address:* 952 Alameda Padre Serra, Santa Barbara, CA 93103

*Location of Tree:* 952 Alameda Padre Serra, Santa Barbara, CA 93103

*Tree Species:* (2) *Schinus molle*, *Common Name:* Pepper Tree

*Zoning/Setback:* RS-15 30'

*Reason for Removal:* This application is associated with a new development of an ADU located at 952 Alameda Padre Serra. The ADU will be located on the north side of the property off Roble Lane on the Riviera in a high fire area, so it requires parking. This is the only area possible for designated parking as the property is located on a 42% slope.

*Proposed Replacement:* Yes  2 peppers and several prunus trees. No

*Advisory Committee Recommendation:* Approve Removal:  Deny Removal:  N/A

*Staff Recommendation:* Approve Removal:  Deny Removal:  N/A

*Date Posted:*

*Comments:*

**PHOTO INVENTORY**



Front Yard 952 Alameda Padre Serra – Gail Fisher 4-24-24



# Tree Removal Application

## APPLICANT/OWNER DETAILS

Fisher  Gail   
 YOUR LAST NAME YOUR FIRST NAME

OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)

952 Alameda Padre Serra   
 YOUR MAILING ADDRESS

Santa Barbara  CA  93103   
 CITY STATE ZIP CODE

909-578-8043  Gail.L.Fisher@gmail.com   
 DAYTIME PHONE EMAIL ADDRESS

## TREE INFORMATION

TYPE OF TREE: **SETBACK TREE(S)**  **STREET TREE(S)**

2  952 Alameda Padre Serra ---The backyard, also a front setback, is located west of neighbor   
 NUMBER OF TREES LOCATION OF TREE(S) - please be sure to indicate the **property address** where the trees are located

Pepper   
 SPECIES OF TREE(S), IF KNOWN

**REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:**

- Whether or not the removal application is associated with new development or redevelopment of property
- Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
- Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark

If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

This application is associated with new development of an ADU located at 952 Alameda Padre Serra. The property has two front setbacks. The ADU will be located on the north part of the property off Roble Lane on the Riviera in a high fire area so it requires parking. This is the only area possible for the designated parking as the property is located on a 42% slope. The two pepper trees are growing very close together and some of their branches are intertwined. One of the pepper trees is very close to and encroaching on a mature oak on the western edge of the property.

There are a number of mature trees throughout the property, including seven mature oaks, two mature jacarandas, four mature pittosporum, two Loquat trees and another mature tree (I don't know the name of) creating a dense canopy of shade throughout the backyard. There are also several prunus trees that I have planted along the eastern part of the property. I intend to add more once construction is completed. There is so much shade in the back yard of the property, that I will need to get the required solar

WILL YOU REPLACE THE TREE(S)? YES  NO  See attached continued... reasons for removal

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?

Two peppers south of the parking area, several prunus trees for screening on the eastern and western part of the property.

## **952 Alameda Padre Serra**

### **Tree Removal Reasons**

This application is associated with new development of an ADU located at 952 Alameda Padre Serra. The property has two front setbacks. The ADU will be located on the north part of the property off Roble Lane on the Riviera in a high fire area so it requires parking. This is the only area possible for the designated parking as the property is located on a 42% slope. The two pepper trees are growing very close together and some of their branches are intertwined. One of the pepper trees is very close to and encroaching on a mature oak on the western edge of the property.

There are a number of mature trees throughout the property, including seven mature oaks, two mature jacarandas, four mature pittosporum, two Loquat trees and another mature tree (I don't know the name of) creating a dense canopy of shade throughout the backyard. There are also several prunus trees that I have planted along the eastern part of the property. I intend to add more once construction is completed. There is so much shade in the back yard of the property, that I will need to get the required solar electricity using panels from my primary residence. I also plan to plant several prunus trees for screening along the western side of the property once the construction is completed. And, I'll replant two pepper trees south of the parking area.

We completed SHO - 952 Alameda Padre Serra (PLN2022-00319) on March 6, 2024. In reviewing the last Complete Letter dated January 2024, all Departments (including Creeks) gave the go ahead. The next steps (and assuming the project passes the appeal period for the SHO decision), is to get the approval for the removal of the two pepper trees in the setback. The project is not scheduled for review by the Architectural Board of Review or the Historic Landmarks Commission. The trees are not designated Specimens, Historic Trees, or located on a property with a designated Historic Landmark. Once the project is fully through the Parks & Rec. process, then the project will submit to return to the Single Family Design Board (SFDB), Consent, for Project Design Approval (PDA). Thank you, Gai Fisher, Owner



CONSTRUCTION DOCUMENTS ADDENDA

- 1. CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW ALL OF THE CONTRACT DOCUMENTS. EXAMINE THE PROJECT SITE AND BECOME FAMILIAR WITH THE SCOPE OF WORK AND THE INTENT OF THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS... 2. IT IS UNDERSTOOD THAT ALL CONTRACTORS AND THEIR PERSONNEL ARE PROPERLY TRAINED AND EXPERIENCED TO CONSTRUCT AND OTHERWISE CARRY OUT THE INTENT OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS...

FIRE DEPARTMENT NOTES

- 1. PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED FOR THIS STRUCTURE. FIRE EXTINGUISHER SIZE AND LOCATION TO BE DETERMINED BY THE FIRE DEPARTMENT. 2. THE STRUCTURE SHALL BE IN COMPLIANCE WITH THE APPLICABLE SECTIONS OF THE UNIFORM FIRE CODE AND CALIFORNIA CODE OF REGULATIONS, TITLE 19. 3. INSPECTION FOR COMPLIANCE WITH THESE CONDITIONS AND GENERAL FIRE SAFETY WILL BE REQUIRED PRIOR TO OCCUPANCY.

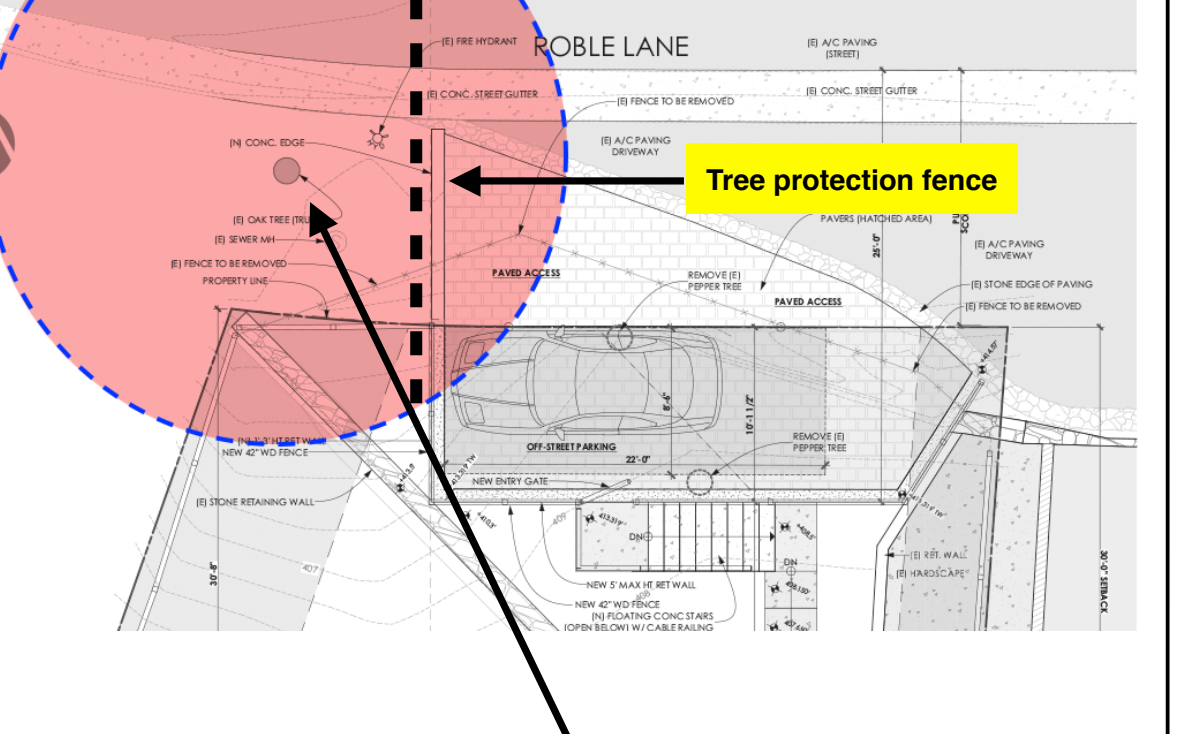
OAK TREE ASSESSMENT & PROTECTION REPORT

Bill Spiewak CONSULTING ARBORIST Registered Consulting Arborist (CSA) American Society of Consulting Arborists. February 28, 2023. Ken Vermillion - Bildsten Architecture + Planning 30 West Figueroa Street Santa Barbara CA 93101 (310) 721-5301. OAK TREE ASSESSMENT AND PROTECTION REPORT at 952 Alameda Padre Serra, Santa Barbara CA 93103. BACKGROUND AND ASSIGNMENT: The proposed project at the subject property includes an improved parking space along the northern property line adjacent to Roble Ln. There is a 16" DBH oak along the roadside close to the proposed improvements...

SOIL & EXISTING CONDITIONS

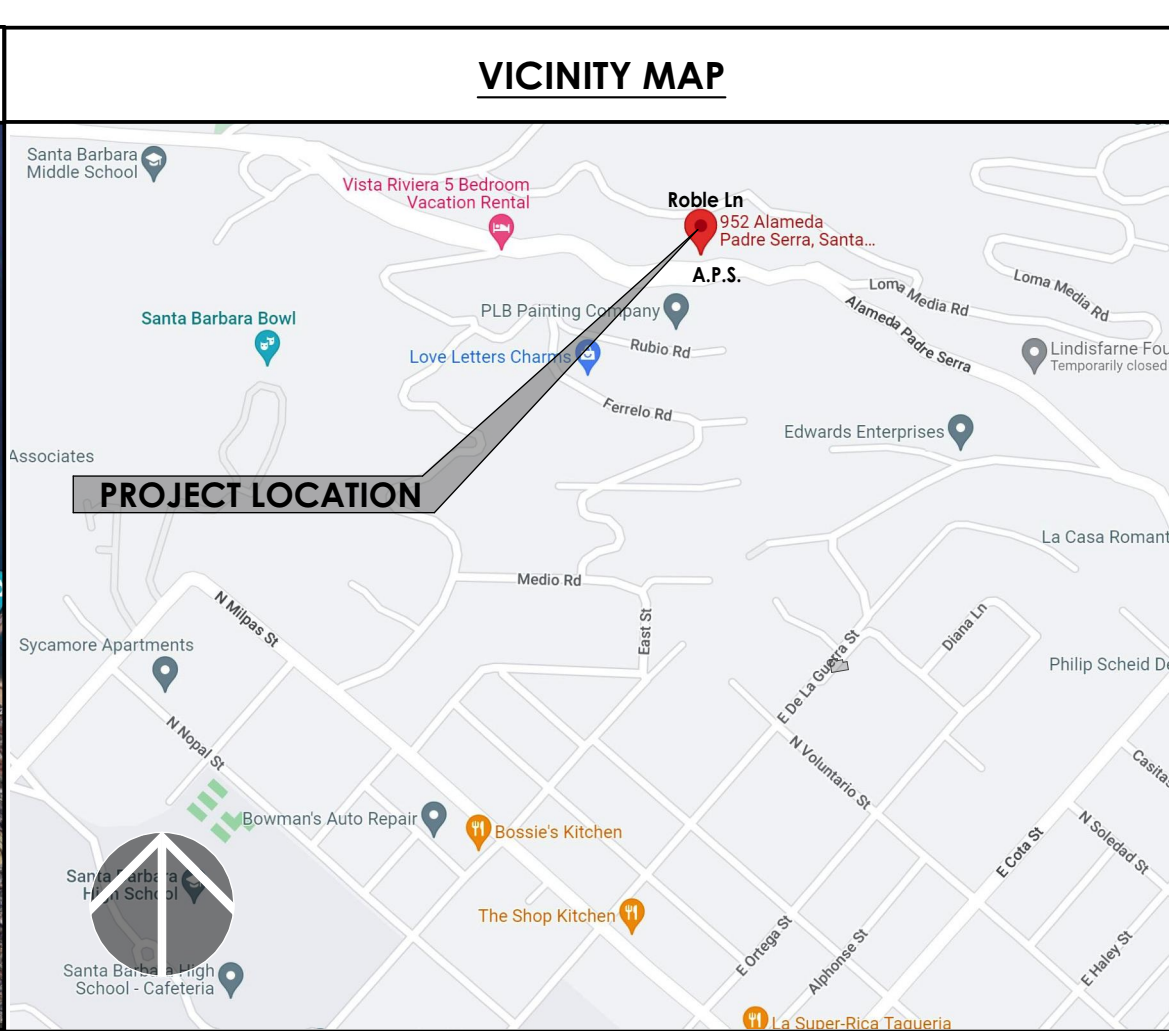
- 1. GEOTECHNICAL REPORTS ARE NOT INCLUDED IN THE CONTRACT DOCUMENTS, BUT MAY BE MADE AVAILABLE TO CONTRACTOR FOR INFORMATION ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY CONCLUSIONS CONTRACTOR MAY DRAW FROM SUCH INFORMATION. CONTRACTOR SHALL INVESTIGATE AND DETERMINE EXISTING SOILS AND SITE CONDITIONS UNDER WHICH CONTRACTOR WILL OPERATE IN PERFORMING THE WORK. 2. THE CONSTRUCTION SHOWN IN THESE PLANS HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOLLOWING SOILS REPORT SUBMITTED SEPARATELY: SOILS REPORT #: SR# 20216 PREPARED BY: HEATHCOTE GEOTECHNICAL - FRED HEATHCOTE P.E. DATED: May 24, 2021. A PRE CONSTRUCTION MEETING SHOULD BE HELD AT THE SITE BETWEEN THE OWNER, CONTRACTOR, GRADER AND HEATHCOTE GEOTECHNICAL ENGINEER. MEETINGS SHALL BE HELD MINIMUM 2 DAYS PRIOR TO STARTING ANY FIELD WORK.

Prepared by: Bill Spiewak Registered Consulting Arborist #381 American Society of Consulting Arborists Qualified Tree and Plant Appraiser. Board Certified Master Arborist #310B American Society of Consulting Arborists Qualified Tree Risk Assessor. 957 San Jon Lane • Santa Barbara, CA 93105 • (805) 538-4075 • bill@barbaris.com • www.barbaris.com



FISHER ADU: FRONT YARD MODIFICATION

952 ALAMEDA PADRE SERRA, SANTA BARBARA, CA 93103



APPLICABLE CODES: STATE CODES: 2019 CALIFORNIA BUILDING CODE (BASED ON THE 2015 IBC) 2019 CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2015 IRC) 2019 CALIFORNIA ELECTRICAL CODE (BASED ON THE 2014 NEC) 2019 CALIFORNIA PLUMBING CODE (BASED ON THE 2015 UPC) 2019 CALIFORNIA MECHANICAL CODE (BASED ON THE 2015 IMC) 2019 CALIFORNIA FIRE CODE (BASED ON THE 2015 INTERNATIONAL FIRE CODE) 2019 CALIFORNIA GREEN BUILDING STANDARDS 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS. LOCAL CODES: SANTA BARBARA MUNICIPAL CODE. TITLE 24 ENERGY: CONSTRUCTION IS TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF CALIFORNIA ADMINISTRATIVE CODE, TITLE 24 AND THE 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS.

FIRE PROTECTION: 1. ANY ITEMS WHICH PENETRATE FIRE RATED WALLS MUST BE EITHER FERROUS OR COPPER AND FIRE STOPPED. ELECTRICAL OUTLET BOXES INSTALLED IN FIRE RATED WALLS SHALL BE STEEL, SHALL NOT EXCEED SIXTEEN SQUARE INCHES IN AREA, AND SHALL NOT BE INSTALLED ANY CLOSER TOGETHER THAN ONE PER EVERY ONE HUNDRED SQUARE FEET OF WALL AREA. ITEMS WHICH PENETRATE FIRE RATED WALLS MUST BE SEPARATED BY A HORIZONTAL DISTANCE OF TWENTY-FOUR INCHES WHEN ON OPPOSITE SIDES OF A WALL. 2. WRING WITHIN CONCEALED SPACES SHALL COMPLY WITH THE CALIFORNIA MECHANICAL CODE AND CBC SECTION 710.5. 3. FIRE SPRINKLERS ARE NOT REQUIRED FOR AN ADU WHEN THE EXISTING RESIDENCE ON THE PROPERTY IS NOT SPRINKLERED. AN NEPA L3D AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED IN THE NEW RESIDENCE/CARAGE UNDER SEPARATE FIRE SPRINKLER SUBMITTAL AND PERMIT OBTAINED FROM FIRE PREVENTION AT CITY HALL, 501 POLI STREET, RM-117, PH 805-654-7869. 4. CODE REFERENCE: 2019 CRC (CBC 2019 ED).

CITY OF SANTA BARBARA FAR CALCULATIONS. Table with 2 columns: Parameter and Value. Includes rows for Project Address (952 A.P.S.), Proposed TOTAL Net FAR Floor Area (2,531 sq. ft.), Zone (E-1 or RS-15), Net Lot Area (13,939 sq. ft.), FAR Requirements (GUIDELINE\*\*), Average Slope of Lot (42.00%), Height of existing or proposed buildings (No exceed 25 feet?), Hillside Design District (Yes), and Grading outside footprint (Yes).

FLOOR AREA RATIO (FAR) and MAX FAR Calculation. Table with 2 columns: Metric and Value. Includes rows for FAR (0.182), Lot Size Range (10,000 - 14,999 sq. ft.), MAX FAR Calculation (2,500 + (0.125 x lot size in sq. ft.)), 100% MAX FAR (0.304), 85% of MAX FAR (3,606), and 80% of MAX FAR (3,394).

Acraage Conversion Calculator. Table with 2 columns: Conversion and Value. Includes rows for Acreeage to Convert to square footage (0.32) and Net Lot Area (13939.2 sq. ft.).

PROJECT & CODE ANALYSIS. PROPERTY INFORMATION: OWNER: GAIL L. FISHER. SITE ADDRESS: 952 ALAMEDA PADRE SERRA, SANTA BARBARA, CA 93103. PARCEL INFORMATION: COUNTY OF SANTA BARBARA, MAP BK# 019-25 PARCEL LOT# 15, TRACK #: N/A. ASSESSORS PARCEL NUMBER: 019-252-015. ZONING REQUIREMENTS & INFORMATION: GENERAL PLAN: RIVIERA, ZONE: RS-15, SETBACKS: FRONT:30 FT; INTERIOR: 10 FT (ADU INTERIOR: 4 FT), MAX BUILDING HEIGHT: MAX ALLOWED: 25 FT; PROPOSED XX FT, PARKING REQ'D: ADU - (1) UNCOVERED (HIGH FIRE), LOT COVERAGE - ALLOWABLE: SEE F.A.R. CALCULATIONS. CODE ANALYSIS: USE: SINGLE FAMILY RESIDENCE, OCCUPANCY: R-3/U (Residence) / (Private Garage), CONSTRUCTION TYPE: V-B, STORIES: ONE STORY, NUMBER OF UNITS: 1, SPRINKLERS REQ'D: NO, FLOOD ZONE DESIGNATION: ZONE X, CLIMATE ZONE: ZONE 6, SEISMIC DESIGN CATEGORY: E, FIRE SEVERITY AREA: HIGH FIRE HAZARD AREA: FOOTHILL ZONE.

BUILDING & LOT DATA. LOT AREA: 13,939 SF (0.32 acre), PARCEL SLOPE AVERAGE: 42%. PROPOSED GRADING: (REFER TO CIVIL GRADING/DRAINAGE SHEETS). EXISTING & PROPOSED STRUCTURES ON SITE: EXISTING SINGLE FAMILY DWELLING: 1-STORY, EXISTING ATTACHED 1-CAR GARAGE: 1-STORY, PROPOSED ACCESSORY DWELLING UNIT: 1-STORY (less than 16' height). FLOOR AREA CALCULATIONS: EXISTING FLOOR AREAS: NET/GROSS for 1-STORY PRIMARY RESIDENCE, (E) STORAGE SHED, and (E) ATTACHED 1-CAR GARAGE. PROPOSED FLOOR AREAS: PROPOSED DETACHED ADU. TOTAL PROPOSED FLOOR AREA ON SITE: 2,531 sf (EXISTING + PROPOSED).

POROUS & IMPERVIOUS AREAS. REFERENCE TO SHEET C-2 (GRADING AND DRAINAGE) FOR ADDITIONAL INFORMATION. CUT: 45 CY, FILL: 40 CY. REFERENCE TO SHEET A1.1 FOR ADDITIONAL INFORMATION. Table with 2 columns: Area Type and Value. Includes rows for Existing PerVIOUS Area (1,305 sf), Proposed Net PerVIOUS Area (330 sf), Total (E) + (N) PerVIOUS Area (1,635 sf), Existing Impervious Area (3,988 sf), Proposed Net Impervious Area (1,215 sf), Total (E) + (N) Impervious Area (5,203 sf), Proposed (N) Impervious Area (1,216\* sf), Proposed (N) Impervious Redeveloped Area (0), Proposed Removed Impervious Area (0), and Tier 2 (Less than 2,000 sf of New/Redeveloped Impervious Area).

PROJECT DIRECTORY. ARCHITECT: BILDSTEN ARCHITECTURE & PLANNING. CONTACT: ELLEN BILDSTEN. STRUCTURAL ENGINEER: STUDIO ENGINEERS, INC. CONTACT: JOSEPH A. TASCA. MECHANICAL & PLUMBING ENGINEER: MOON ENGINEERING, INC. CONTACT: TIM MOON. ELECTRICAL CONSULTANT: JIMPE ELECTRICAL ENGINEERING. CONTACT: JOHN MALONEY. ENERGY CONSULTANT - TITLE 24: DTC-805, INC. CONTACT: DAVID CHOCON. GEOTECHNICAL / SOILS ENGINEER: HEATHCOTE GEOTECHNICAL. CONTACT: FRED HEATHCOTE, PE.

PROJECT DESCRIPTION / SCOPE

THE 796 SF (NET), 2 BEDROOM ACCESSORY DWELLING UNIT (ADU) IS PROPOSED PURSUANT TO SANTA BARBARA MUNICIPAL CODE SECTION 30.185.040. THE PROPERTY OWNER IS REQUESTING A MODIFICATION FOR A SINGLE PARKING SPACE AND THE REQUIRED STAIRS AND LANDING(S) TO GAIN ACCESS TO THE PROPOSED ADU (UNDER BLD2022-01725) WITHIN THE FRONT YARD SETBACK FROM ROBLE LANE FOR THE PROPERTY AT 952 ALAMEDA PADRE SERRA. IN ADDITION, A MINIMUM ABOVE GRADE LANDING AND STEPS CONFORMING WITH CODE SECTION 30.140.090.C.6 IS REQUESTED FOR ACCESS TO THE ROOF DECK (OF THE ADU). THE PROPERTY HAS STREET ACCESS ALONG BOTH FRONTAGES, AND THEREFORE, TWO FRONT YARD SETBACKS. WORKING WITH NUMEROUS DEPARTMENTS, THE CITY AGREED THAT SUCH A MODIFICATION WOULD BE REPRESENTATIVE OF CURRENT CONDITIONS AND NOT OUT OF CHARACTER WITH THE NEIGHBORHOOD. THE PARKING SPACE IS REQUIRED FOR THE PROPOSED ACCESSORY DWELLING UNIT DUE TO THE HIGH FIRE SITE LOCATION. SOME WORK WILL BE REQUIRED WITHIN THE PUBLIC RIGHT OF WAY.

SHEET INDEX. G1.1 COVER SHEET / PROJECT INFO, C-1 GRADING & DRAINAGE TITLE SHEET, C-2 GRADING & DRAINAGE PLAN, C-3 EROSION CONTROL PLAN, C-4 DRAINAGE DETAILS, A0.1 EXISTING SITE SURVEY, A0.2 PHOTOS: AERIAL | LOCATION | EXTERIOR, A0.3 PHOTOS: SITE AND AREA, A1.1 FULL SITE PLAN (SURVEY OVERLAY), A1.2 SITE PLAN (PROJECT SCOPE), A101 FLOOR PLANS, A201 EXTERIOR ELEVATIONS.

ADDITIONAL PARKING DATA. PRIMARY RESIDENCE PARKING: EXISTING: 1 COVERED / 0 UNCOVERED, PROPOSED: 1 COVERED / 0 UNCOVERED, REQUIRED: 2 COVERED / NONCONFORMING - NO CHANGE. ACCESSORY DWELLING UNIT PARKING: EXISTING: N/A, PROPOSED: 0 COVERED / 1 UNCOVERED, REQUIRED: 1 SPACE FOR ADU IN THE HIGH FIRE HAZARD AREA (SBMC 30.185.040).

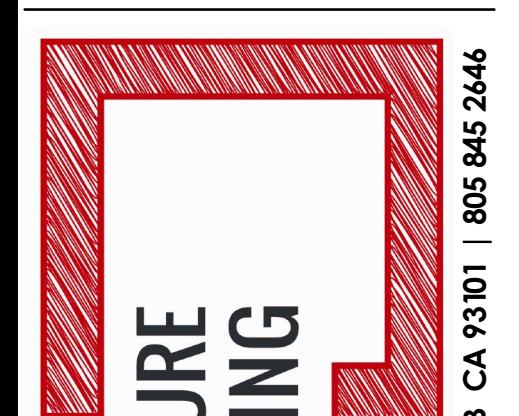
SITE GRADING & EARTHWORK QUANTITIES. REFER TO SHEET C-2 (GRADING AND DRAINAGE) FOR ADDITIONAL INFORMATION. CUT: 45 CY, FILL: 40 CY. REFERENCE TO SHEET A1.1 FOR ADDITIONAL INFORMATION. Table with 2 columns: Area Type and Value. Includes rows for Existing PerVIOUS Area (1,305 sf), Proposed Net PerVIOUS Area (330 sf), Total (E) + (N) PerVIOUS Area (1,635 sf), Existing Impervious Area (3,988 sf), Proposed Net Impervious Area (1,215 sf), Total (E) + (N) Impervious Area (5,203 sf), Proposed (N) Impervious Area (1,216\* sf), Proposed (N) Impervious Redeveloped Area (0), Proposed Removed Impervious Area (0), and Tier 2 (Less than 2,000 sf of New/Redeveloped Impervious Area).

POROUS & IMPERVIOUS AREAS. REFERENCE TO SHEET C-2 (GRADING AND DRAINAGE) FOR ADDITIONAL INFORMATION. CUT: 45 CY, FILL: 40 CY. REFERENCE TO SHEET A1.1 FOR ADDITIONAL INFORMATION. Table with 2 columns: Area Type and Value. Includes rows for Existing PerVIOUS Area (1,305 sf), Proposed Net PerVIOUS Area (330 sf), Total (E) + (N) PerVIOUS Area (1,635 sf), Existing Impervious Area (3,988 sf), Proposed Net Impervious Area (1,215 sf), Total (E) + (N) Impervious Area (5,203 sf), Proposed (N) Impervious Area (1,216\* sf), Proposed (N) Impervious Redeveloped Area (0), Proposed Removed Impervious Area (0), and Tier 2 (Less than 2,000 sf of New/Redeveloped Impervious Area).

PROJECT DIRECTORY. ARCHITECT: BILDSTEN ARCHITECTURE & PLANNING. CONTACT: ELLEN BILDSTEN. STRUCTURAL ENGINEER: STUDIO ENGINEERS, INC. CONTACT: JOSEPH A. TASCA. MECHANICAL & PLUMBING ENGINEER: MOON ENGINEERING, INC. CONTACT: TIM MOON. ELECTRICAL CONSULTANT: JIMPE ELECTRICAL ENGINEERING. CONTACT: JOHN MALONEY. ENERGY CONSULTANT - TITLE 24: DTC-805, INC. CONTACT: DAVID CHOCON. GEOTECHNICAL / SOILS ENGINEER: HEATHCOTE GEOTECHNICAL. CONTACT: FRED HEATHCOTE, PE.

MEMO/REVISION: DATE:

- PLANNING SHD 2nd SUBMITTAL 04/25/2023
PLANNING SHD 3rd SUBMITTAL 06/08/2023
PLANNING SHD 4th SUBMITTAL 08/14/2023

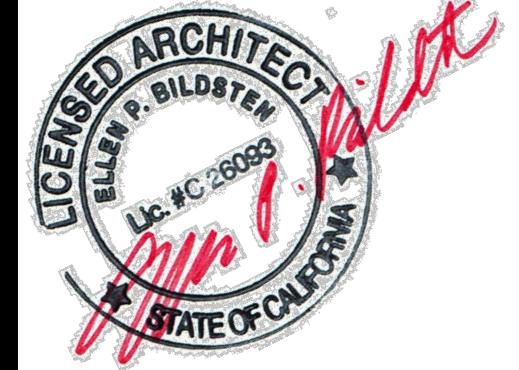


30 WEST FIGUEROA ST | SB, CA 93101 | 805 645 2446

FISHER ADU: FRONT YARD MODIFICATION

952 ALAMEDA PADRE SERRA, SANTA BARBARA, CA 93103. NOT FOR CONSTRUCTION.

APN: 019-252-015. THIS PROJECT RECORD DOCUMENT (DRAWINGS AND/OR SPECIFICATIONS) HAVE BEEN PREPARED ON THE BASIS OF DATA COMPILED AND FURNISHED BY OTHERS. BILDSTEN ARCHITECTURE & PLANNING AND ELLEN BILDSTEN ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS RESULTING FROM THAT DATA BEING INCORPORATED INTO THIS DOCUMENT. THESE DRAWINGS AND SPECIFICATIONS AND THE INCORPORATED DATA AND DESIGNS CONSTITUTE AN INSTRUMENT OF SERVICE AND ARE THE SOLE PROPERTY OF BILDSTEN ARCHITECTURE & PLANNING. THESE DOCUMENTS IN WHOLE OR IN PART SHALL NOT BE USED ON EXTENSION OF THE PROJECT OR FOR OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND APPROPRIATE COMPENSATION TO BILDSTEN ARCHITECTURE & PLANNING.



THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS AT THE JOB SITE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

SCALE: AS NOTED. PRINT DATE: 11/29/23. SHEET: COVER SHEET / PROJECT INFO. SHEET # LayNoInSubset of 38. G1.1

# CITY OF SANTA BARBARA

## FISHER RESIDENCE ADU

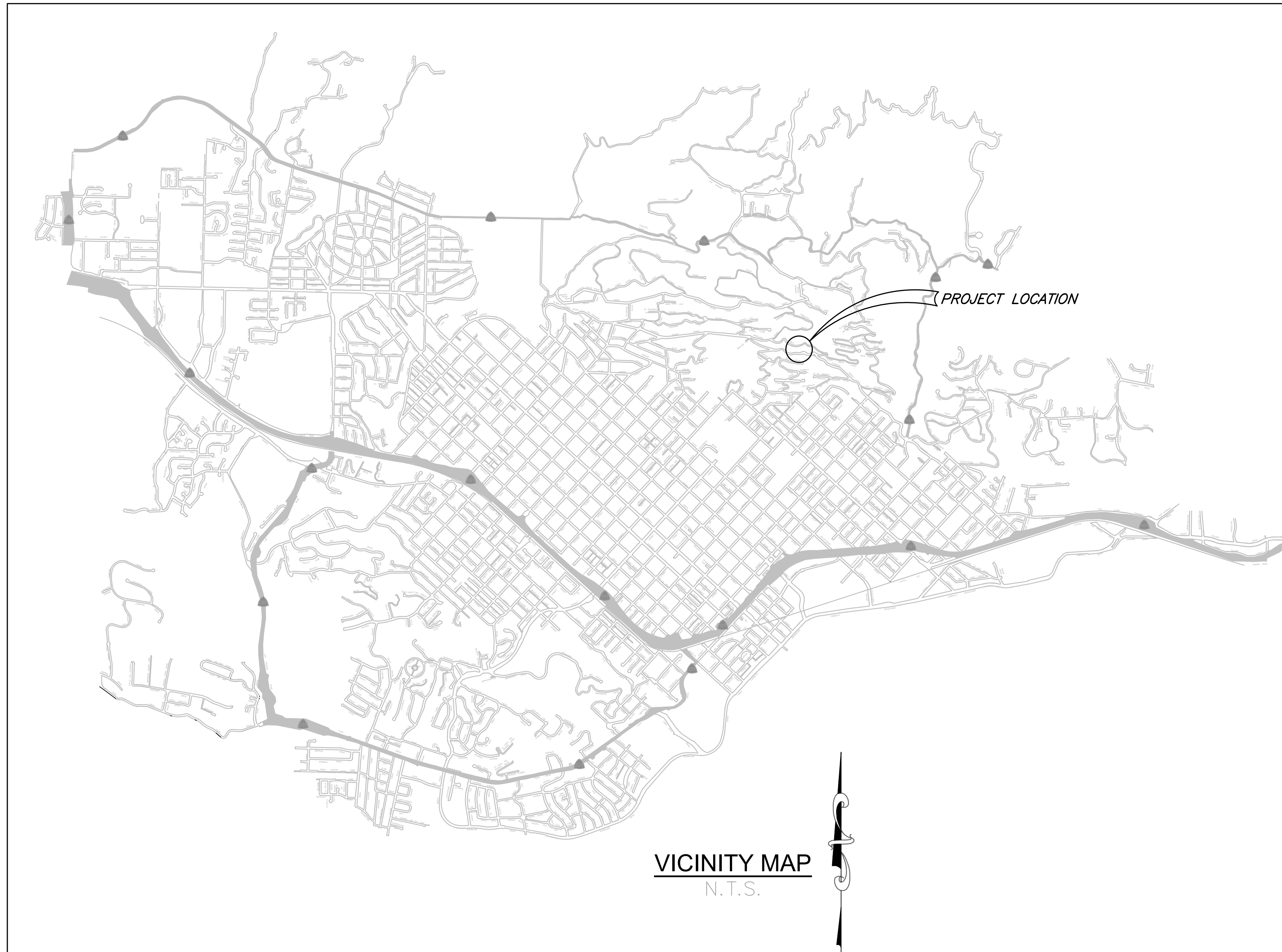
PROJECT NO. XXXX, BID NO. XXXX



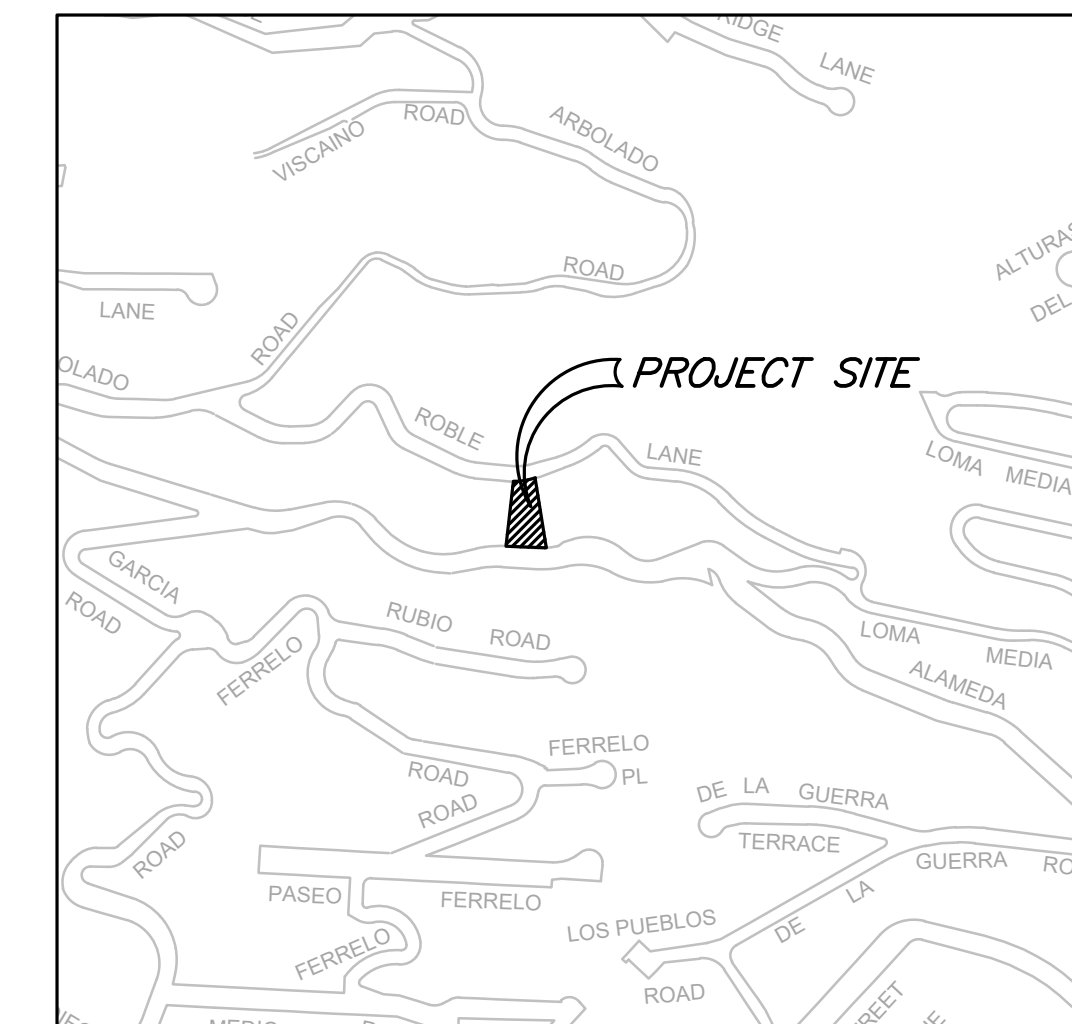
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PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION

APPROVED: \_\_\_\_\_ DATE \_\_\_\_\_  
CITY ENGINEER ORIGINAL SIGNED DATE \_\_\_\_\_



SHEET INDEX			
SHEET #	SHEET DESIGNATOR	TITLE	DESCRIPTION
1		TITLE SHEET	TITLE SHEET
2		GRADING PLAN	
3		EROSION CONTROL PLAN	
4		DRAINAGE DETAILS	
5			
6			



### SYMBOL LEGEND

- |       |                           |                 |                           |      |                            |
|-------|---------------------------|-----------------|---------------------------|------|----------------------------|
| —W—   | EXISTING WATER MAIN       | —CTV—           | EXISTING CABLE TV         | WM   | EXISTING WATER METER       |
| —G—   | EXISTING GAS MAIN         | —               | EXISTING EDGE OF PAVEMENT | OTMH | EXISTING TELEPHONE MANHOLE |
| —S—   | EXISTING SEWER MAIN       | —               | EXISTING FLOWLINE         | E    | EXISTING ELECTRIC PULL BOX |
| —E—   | EXISTING SCE MAIN         | Q <sub>FH</sub> | EXISTING FIRE HYDRANT     | ●    | EXISTING POWER POLE        |
| —T—   | EXISTING TELEPHONE MAIN   | O <sub>W</sub>  | EXISTING WATER VALVE      | —    | EXISTING STREET SIGN       |
| —SD—  | EXISTING STORM DRAIN MAIN | O <sub>GV</sub> | EXISTING GAS VALVE        | *    | EXISTING STREET LIGHT      |
| —O—   | EXISTING FENCE            | GM              | EXISTING GAS METER        | ⊙    | EXISTING CITY MONUMENT     |
| —R/W— | RIGHT OF WAY LINE         |                 |                           | ⊙    | EXISTING IP SURVEY MARKER  |

### ABBREVIATION LEGEND

- |       |                  |     |                   |
|-------|------------------|-----|-------------------|
| BM    | BENCHMARK        | MH  | MANHOLE           |
| BOW   | BACK OF WALK     | NTS | NOT TO SCALE      |
| CTV   | CABLE TELEVISION | R/W | RIGHT OF WAY      |
| E     | ELECTRICAL       | S   | SEWER             |
| ECONC | EDGE OF CONCRETE | SD  | STORM DRAIN       |
| FH    | FIRE HYDRANT     | T   | TELEPHONE         |
| FL    | FLOW LINE        | TC  | TOP OF CURB       |
| FOW   | FRONT OF WALK    | TMH | TELEPHONE MANHOLE |
| G     | GAS              | P   | PAVEMENT          |
|       |                  | W   | WATER             |



PREPARED BY:  
**LEWIS ENGINEERING**  
1143 E. MAIN STREET  
VENTURA, CALIFORNIA 93001  
PHONE: (805) 448-1353

RCE 40877 EXP. 3-31-23 DATE:

DRAINAGE AND GRADING PLAN  
**FISHER RESIDENCE ADU**  
 925 ALAMEDA PADRE SERRA

PBW. NO. \_\_\_\_\_

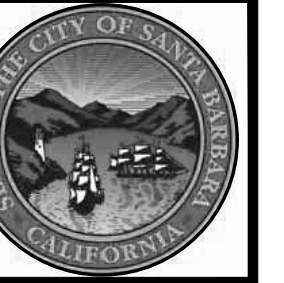
BID NO. \_\_\_\_\_ SHT. DES. \_\_\_\_\_

DWG. NO. \_\_\_\_\_

**C-1**



Know what's below.  
Call before you dig.



INSERT COMPANY LOGO HERE

PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION

APPROVED: DATE CITY ENGINEER ORIGINAL SIGNED DATE

DESIGN AR DRAWN AR CHECKED JLM

DATE APPROVED

NO. REVISIONS

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CONSTRUCTION NOTES:

- (A) RETAINING WALLS PER SEPARATE PERMIT. MUST BE SUBMITTED TO CITY OF SANTA BARBARA BUILDING AND SAFETY DEPARTMENT.
(B) CONSTRUCT 4" THICK CONC. 2500 PSI W/ #4 @ 24" O.C. WALK AND DECK SURFACES PER ARCHITECTURAL PLANS. COMPACT THE TOP 18" OF SURFACE SOILS TO 90% RELATIVE DENSITY, AND THE TOP 9" COMPACTED TO 95% RELATIVE DENSITY, PER SOILS ENGINEER'S RECOMMENDATION.
(C) CONSTRUCT CONCRETE PAVERS PER ARCHITECTURAL PLANS. COMPACT THE TOP 18" OF SURFACE SOILS TO 90% RELATIVE DENSITY, AND THE TOP 9" COMPACTED TO 95% RELATIVE DENSITY, PER SOILS ENGINEER'S RECOMMENDATION.
(D) CONSTRUCT RAISED CONCRETE DECK SEE ARCHITECTURAL AND STRUCTURAL PLANS
(E) INSTALL NDS 12" SQ. CATCH BASIN WITH 12" SQ. TRAFFIC GRATE.
(F) INSTALL 4" SDR 35 P.V.C. DRAIN PIPE S=0.0100 MIN.
(G) EXISTING RETAINING WALL TO BE REMOVED.
(H) EXISTING RETAINING WALL TO REMAIN PROTECT IN PLACE.
(I) BUILT UP RAISED STAIRS SEE ARCHITECTURAL PLANS
(J) INSTALL RAINFOREST SYSTEM 3.28' X 9.84' X 3.67' DEEP PER MFG RECOMMENDATIONS SEE SHEET 3 TOTAL OF 3 STACKS OF 11 UNITS EA. (24.8 GAL CAPACITY PER UNIT. 24.8 X 33 = 818.4 GAL TOTAL)
(K) INSTALL NDS 6" SPEE-D BASIN WITH 6" POP UP EMITTER.
(L) INSTALL RAINFOREST3 MAINTENANCE PORT PER DETAIL ON SHEET 3

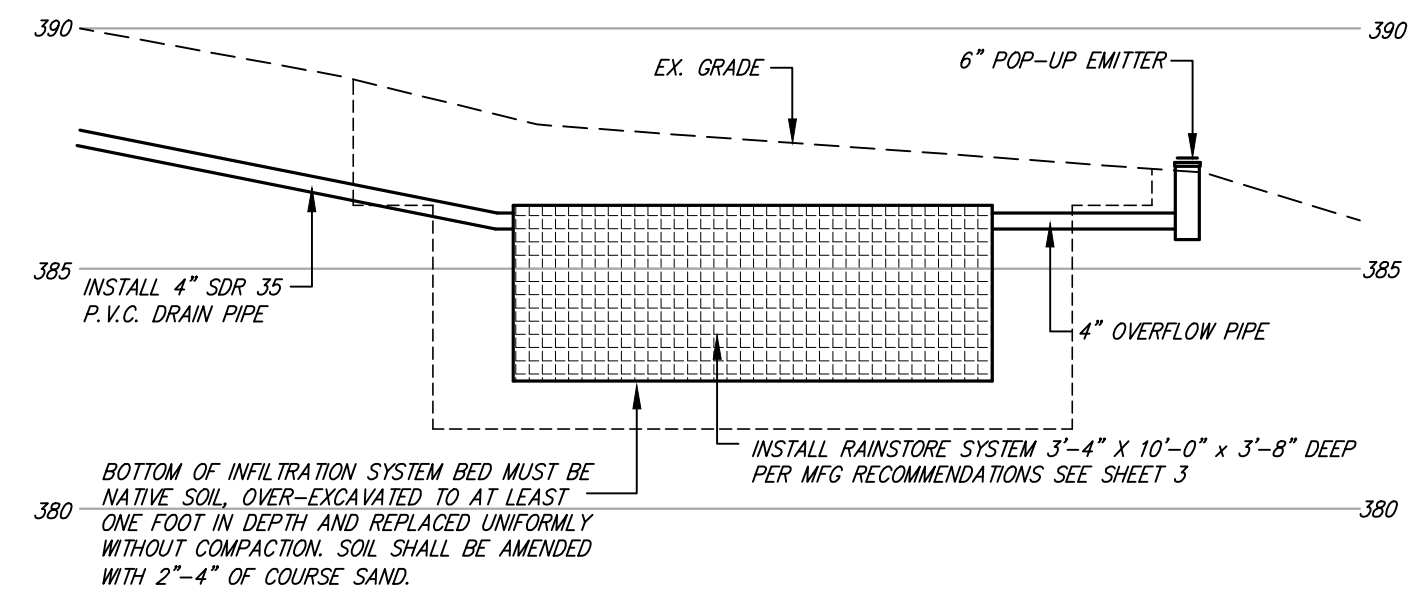
GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (S.S.P.W.C.), ADDITIONAL REFERENCE IS MADE TO THE VENTURA COUNTY BUILDING CODE WHICH ADOPTS BY REFERENCE CBC CHAPTER 33 EXCAVATION AND GRADING, THE VENTURA COUNTY STANDARD LAND DEVELOPMENT SPECIFICATIONS, AND THE STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION (S.P.P.W.C.)
2. AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT THE REGIONAL NOTIFICATION CENTER (UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA - U.S.A.) AT 811 OR 1-800-422-4133 TO OBTAIN INDUSTRY IDENTIFICATION NUMBER AND TO REQUEST THE UTILITY OWNERS TO MARK OR OTHERWISE INDICATE THE LOCATION OF THEIR SUBSURFACE FACILITIES, THE CONTRACTOR SHALL DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING SERVICE CONNECTIONS, WHICH HAVE BEEN MARKED BY THE RESPECTIVE OWNERS AND WHICH MAY AFFECT OR BE AFFECTED OPERATIONS. THE CONTRACTOR SHALL TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITIES AND ALL STRUCTURES FOUND ON THE SITE.
3. THROUGHOUT ALL PHASES OF CONSTRUCTION, INCLUDING SUSPENSION OF WORK, UNTIL FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL KEEP THE SITE CLEAN AND FREE FROM RUBBISH AND DEBRIS. THE CONTRACTOR SHALL ALSO ABATE DUST NUISANCE BY CLEANING, SWEEPING AND SPRINKLING WITH WATER.
4. ALL DAMAGE CAUSED TO PUBLIC STREETS AND PRIVATE PROPERTY SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR.
5. THE LOCATIONS OF EXISTING SUBSTRUCTURES HAVE BEEN TAKEN FROM RECORDS AVAILABLE AND THEIR APPROXIMATE LOCATIONS ARE SHOWN ON THE PLANS TO THE EXTENT THE INFORMATION IS KNOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL SUBSTRUCTURES WHICH MAY BE SUBJECT TO DAMAGE BY REASON OF HIS OPERATIONS. THE FACT THAT ANY UTILITY IS INCORRECTLY SHOWN, OR NOT SHOWN, SHALL NOT RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO PROTECT SUCH A UTILITY FROM DAMAGE. THE CONTRACTOR'S ATTENTION IS DRAWN TO THE POSSIBLE EXISTENCE OF IRRIGATION LINES, ELECTRICAL OR COMMUNICATION CABLE OR CONDUIT, AND SEWER, WATER OR DRAINAGE PIPES IN THE WORK AREA AND WHICH IS NOT SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR SUBSTRUCTURES CONCERNED BEFORE STARTING WORK.
6. A PRECONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION.
7. BITUMINOUS PAVEMENT TO BE JOINED SHALL BE SAWCUT AND TRIMMED TO CLEAN STRAIGHT EDGES.
8. ASPHALT CONCRETE SHALL BE C2-AR-4000 OR C2-AR-8000.
9. RECOMMENDATIONS AND CONCLUSIONS OF SOILS REPORT NO. DATED 20 BY OF SHALL BE THOROUGHLY COMPLIED WITH. THE MENTIONED REPORT IS HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ALL SURVEY MONUMENTATION AND CONTROL POINTS DISTURBED DURING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE A SMOOTH RIDING SURFACE TRANSITION AT THE ENDS OF AC OVERLAY WITH A LENGTH EQUAL TO TEN FEET FOR EVERY INCH DIFFERENCE BETWEEN SURFACES.
12. STREET NAME SIGNS AND TRAFFIC SIGNS REMOVED DURING CONSTRUCTION SHALL BE RE-INSTALLED AT LOCATIONS SPECIFIED BY ENGINEER.
13. TACK COAT SHALL BE APPLIED TO ALL SAWCUT AC SECTIONS AND COLD-MILLED AC SURFACES PRIOR TO ADJACENT AC APPLICATIONS.
14. BUILDINGS ARE SERVED BY SANITARY SEWER SYSTEM (PRIVATE). SEE UTILITY PLANS.
15. A SEPARATE PUBLIC WORKS PERMIT IS REQUIRED FOR ALL PROPOSED WORK IN THE PUBLIC RIGHT-OF-WAY (PROW) REQUIRES A PUBLIC WORKS SUBMITTAL.

EARTHWORK QUANTITIES

QUANTITIES: CUT 45 CY FILL 40 CY

EARTHWORK NOTE: THE EARTHWORK QUANTITIES ARE ESTIMATES ONLY. THEY ARE THE CALCULATED QUANTITIES BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND ELEVATIONS AND PROPOSED GRADE ELEVATIONS AND THEY MAKE NO PROVISIONS FOR SHRINKAGE, SETTLEMENT, WORK STRUCTURAL EXCAVATIONS. THEREFORE, THE ACTUAL VOLUME OF EARTH MOVED MAY BE DIFFERENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EARTHWORK QUANTITIES FOR HIMSELF AND SHALL NOT RELY ON THESE ESTIMATES FOR PAYMENT PURPOSES. NO CERTIFICATION AS TO THE EARTHWORK BALANCE OR ACCURACY IS IMPLIED.



INFILTRATION DETAIL

SCALE: 1" = 4'

PROPERTY LINES ARE APPROXIMATE



SCALE: 1"=10'

PREPARED BY: LEWIS ENGINEERING 1143 E. MAIN STREET VENTURA, CALIFORNIA 93001 PHONE: (805) 448-1353

RCE 40877 EXP. 3-31-23 DATE:

DRAINAGE AND GRADING PLAN FISHER RESIDENCE ADU 925 ALAMEDA PADRE SERRA

PBW. NO. BID NO. SHT. DES. DWG. NO. C-2

ALAMEDA PADRE SERRA

"FISHER" 952 ALAMEDA PADRE SERRA APN 019-252-015 (LOT 22 OF RM 15/238)

"CORLISS" APN 019-252-001 (LOT 23 OF RM 15/238)

APN 019-252-012 (LOT 24 OF RM 15/238)

APN 019-242-013 (LOT 21 OF RM 15/237)

APN 019-242-015 (LOT 20 OF RM 15/237)

40.00 0' (R1)

ROBLE LANE

40.00

PROJECT AND STORMWATER DATA

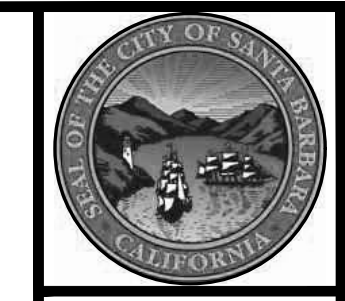
LOT SIZE: 13933.83 S.F. EXIST RESIDENCE: 1389 S.F. EXIST GARAGE: 338 S.F. NEW ADDED/REPLACED IMPERVIOUS AREAS: NEW ADU BUILDING: 1040 S.F. NEW CONCRETE SIDEWALKS: 176 S.F. TOTAL NEW IMPERVIOUS AREA: 1216 S.F.

SWMP: TIER 2 INFILTRATION RATE: 1.7"/HR TREAT FOR 1" STORM (.623 GAL/S.F. IMP) 1216 SF x .623 = 757.56 GAL REQUIRED TOTAL REQUIRED SWQP VOLUME = 101.33 C.F./758 GAL. TOTAL SWQP VOLUME PROVIDED = 758 GAL. DEPTH OF SOIL DISTURBANCE TO CONSTRUCT BMP = 5'

EX. SEWER MAIN (APPROX. LOCATION) PROTECT IN PLACE. SEWER SHALL REMAIN ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION.

4" W.P. EASEMENT FOR SEWER PURPOSES PER G.P. DATED 08/20/18 INST. NO.: 18328 BOOK 1850 PAGE 845

Checker: DP, Date: 2/21/2023, 8:45 AM, Plotted: 2/21/2023, 8:45 AM



INSERT COMPANY LOGO HERE

PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION

APPROVED: [Signature Line] DATE

CITY ENGINEER ORIGINAL SIGNED DATE

DESIGN AR [Signature Line] CHECKED JLM

DRAWN [Signature Line] DATE

DATE APPROVED [Signature Line]

NO. [Table Header] REVISIONS

Table with columns for NO., DATE, APPROVED, DESIGN, DRAWN, CHECKED, JLM.

EROSION CONTROL PLAN FISHER RESIDENCE ADU 925 ALAMEDA PADRE SERRA

DATE

PBW. NO., BID NO., SHT. DES., DWG. NO., C-3

EROSION AND SEDIMENT CONTROL PLAN GENERAL NOTES:

- 1. IN CASE OF EMERGENCY, CALL [blank] AT [blank] PLEASE FILL IN NAME AND NUMBER.
2. TOTAL DISTURBED AREA [blank] ACRE. RISK LEVEL 1 2 3 (CIRCLE ONE AS DETERMINED BY STATE GENERAL PERMIT FOR SITES GREATER THAN 1 ACRE)
3. A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15)...

CIVIL ENGINEER/GSD SIGNATURE DATE

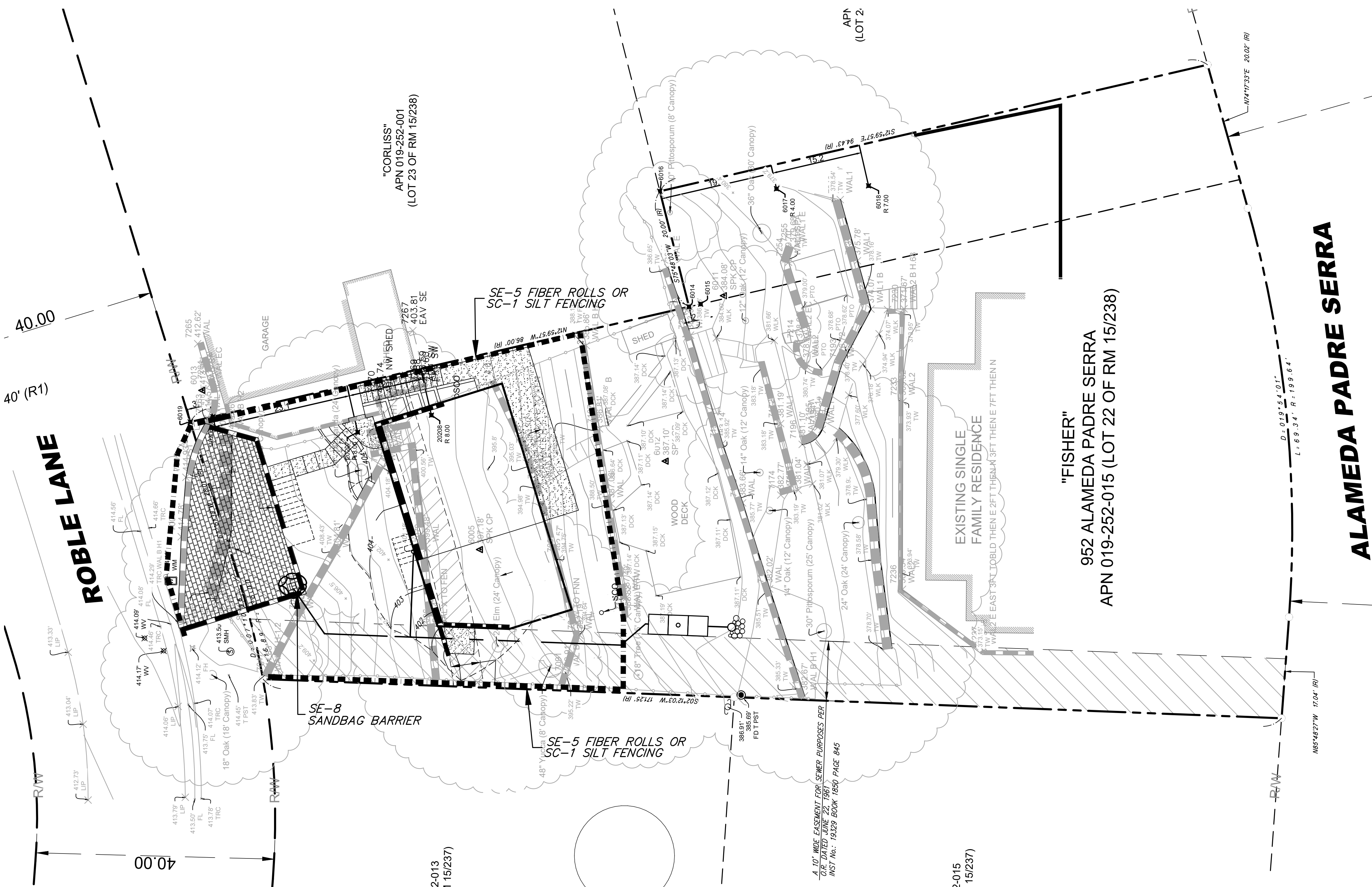
21. THE FOLLOWING NOTES MUST BE ON THE PLAN: AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER/PERMITTEE THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH THE SYSTEM DESIGNED TO ENSURE THAT A QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED...

OWNER OR AUTHORIZED REPRESENTATIVE (PERMITTEE) DATE

22. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY AS REQUIRED BY THE STATE CONSTRUCTION GENERAL PERMIT. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL.

Professional Engineer Seal for State of California, License No. 40877, Exp. 3-31-25. SCALE: 1"=10'

PREPARED BY: LEWIS ENGINEERING 1143 E. MAIN STREET VENTURA, CALIFORNIA 93001 PHONE: (805) 448-1353 RCE 40877 EXP. 3-31-25 DATE



THE FOLLOWING BMPs FROM THE "2009 CONSTRUCTION BMP HANDBOOK/PORTAL" MUST BE IMPLEMENTED FOR ALL CONSTRUCTION ACTIVITIES AS APPLICABLE. AS AN ALTERNATIVE, DETAILS FROM "CALTRANS STORMWATER QUALITY HANDBOOKS, CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP) MANUAL" MAY BE USED. ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE BUILDING OFFICIAL.
EROSION CONTROL: EC1 - SCHEDULING, EC2 - PRESERVATION OF EXIST. VEGETATION, EC3 - HYDRAULIC MULCH, EC4 - HYDROSEEDING, EC5 - SOIL BINDERS, EC6 - STRAW MULCH, EC7 - GEOTEXTILES & MATS, EC8 - WOOD MULCHING, EC9 - EARTH DIKES AND DRAINAGE SWALES, EC10 - VELOCITY DISSIPATION DEVICES, EC11 - SLOPE DRAINS, EC12 - STREAMBANK STABILIZATION, EC13 - POLYACRYLAMIDE.
NON-STORMWATER MANGEMENT: NS1 - WATER CONSERVATION PRACTICES, NS2 - DEWATERING OPERATIONS, NS3 - PAVING AND GRADING OPERATIONS, NS4 - TEMPORARY STREAM CROSSING, NS5 - CLEAR WATER DIVERSION, NS6 - ILLICIT CONNECTION/DISCHARGE, NS7 - POTABLE WATER IRRIGATION, NS8 - VEHICLE AND EQUIPMENT CLEANING, NS9 - VEHICLE AND EQUIPMENT FUELING, NS10 - VEHICLE AND EQUIP. MAINTENANCE, NS11 - FILE DRIVING OPERATIONS, NS12 - CONCRETE CURING, NS13 - CONCRETE FINISHING, NS14 - MATERIAL AND EQUIPMENT USE, NS15 - DEMOLITION ADJACENT TO WATER, NS16 - TEMPORARY BATCH PLANTS.
WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL: WM1 - MATERIAL DELIVERY AND STORAGE, WM2 - MATERIAL USE, WM3 - STOCKPILE MANAGEMENT, WM4 - SPILL PREVENTION AND CONTROL, WM5 - SOLID WASTE MANAGEMENT, WM6 - HAZARDOUS WASTE MANAGEMENT, WM7 - CONTAMINATION SOIL MANAGEMENT, WM8 - CONCRETE WASTE MANAGEMENT, WM9 - SANITARY/SEPTIC WASTE MANAGEMENT, WM10 - LIQUID WASTE MANAGEMENT.
EQUIPMENT TRACKING CONTROL: TC1 - STABILIZED CONST. ENTRANCE/EXIT, TC2 - STABILIZED CONSTRUCTION ROADWAY, TC3 - ENTRANCE/OUTLET TIRE WASH, TC4 - CHECK DAM, TC5 - FIBER ROLLS.
TEMPORARY SEDIMENT CONTROL: SE1 - SILT FENCE, SE2 - SEDIMENT BASIN, SE3 - SEDIMENT TRAP, SE4 - CHECK DAM, SE5 - FIBER ROLLS, SE6 - GRAVEL BAG BERM, SE7 - STREET SWEEPING AND VACUUMING, SE8 - SANDBAG BARRIER, SE9 - STRAW BALE BARRIER, SE10 - STORM DRAIN INLET PROTECTION.
WIND EROSION CONTROL: WE1 - WIND EROSION CONTROL.

6/22/2023 2:45 PM, 6/22/2023 2:45 PM, 6/22/2023 2:46 PM



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PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION

APPROVED: AR DATE CITY ENGINEER ORIGINAL SIGNED DATE

DESIGN AR DRAWN AR CHECKED JLM

DATE APPROVED

Table with 2 columns: NO., REVISIONS

NO. DATE

DRAINAGE DETAILS FISHER RESIDENCE 925 ALAMEDA PADRE SERRA

PBW. NO.

BID NO. SHT. DES.

DWG. NO.

C-4

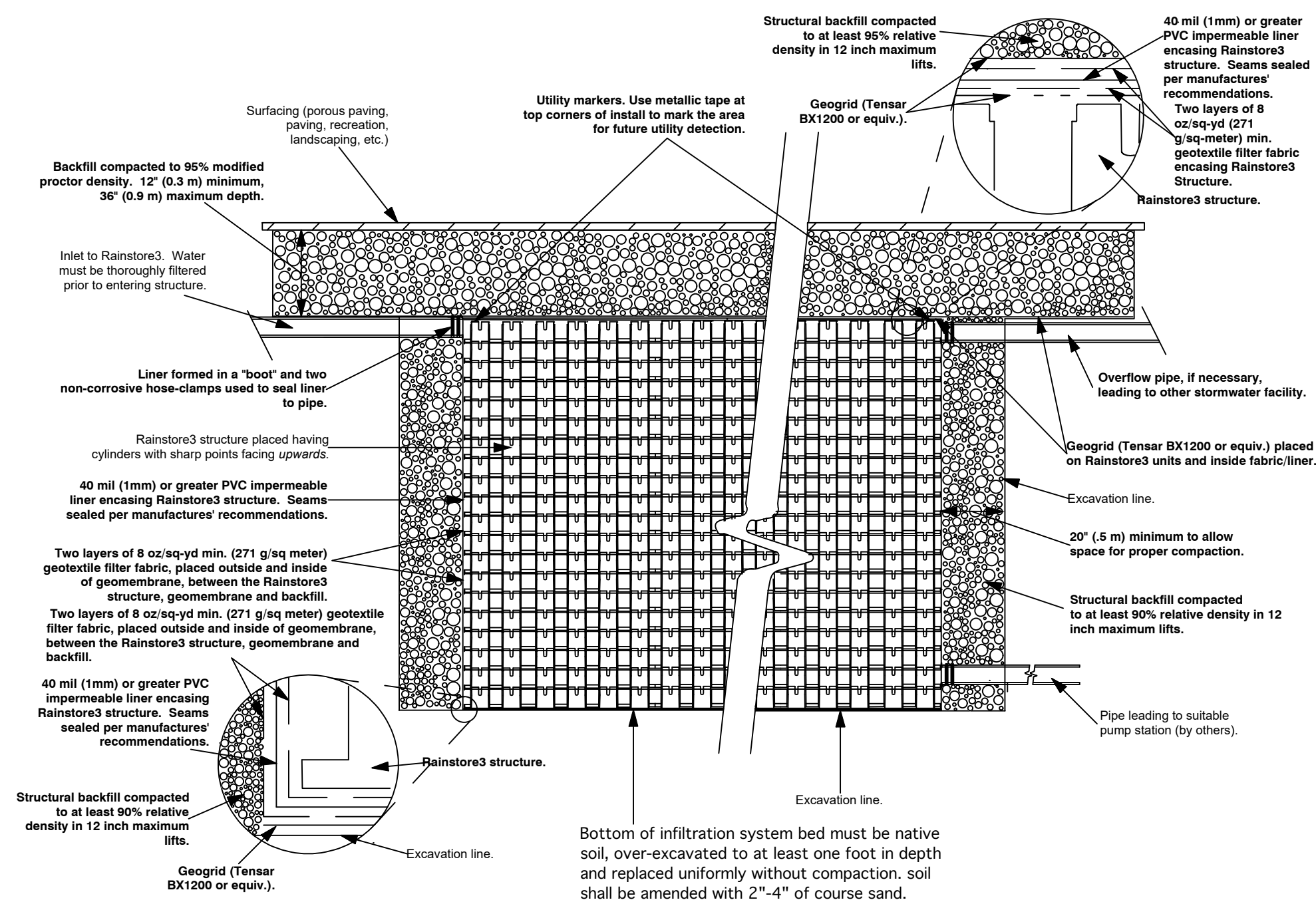
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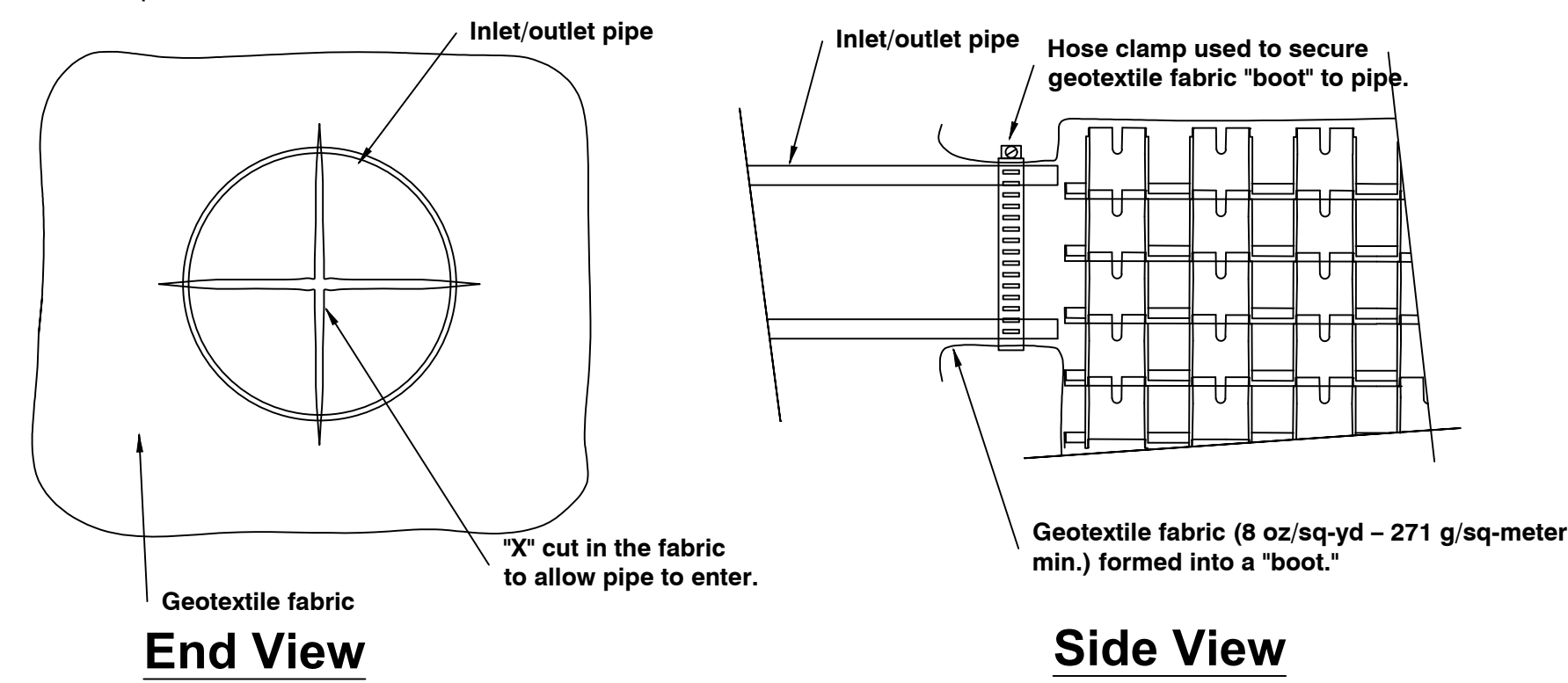
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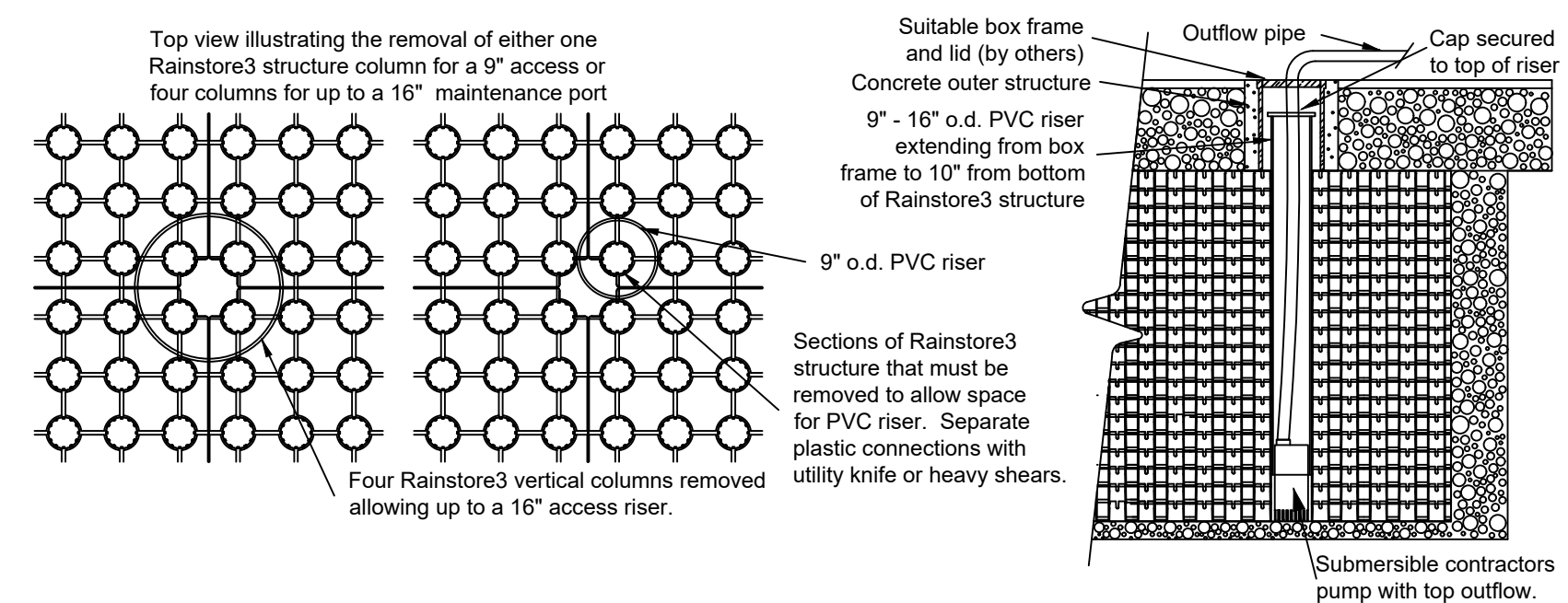


RAINSTORE3 SYSTEM SCALE: NOT TO SCALE

End view of pipe/fabric connection. Cut an X in the fabric slightly larger than pipe, pull the fabric around the pipe to create the "boot" and then secure with a hose-clamp.



RAINSTORE3 INLETS/OUTLETS WITH FABRIC SCALE: NOT TO SCALE



RAINSTORE3 MAINTENANCE PORT SCALE: NOT TO SCALE

ARCHAEOLOGICAL NOTE

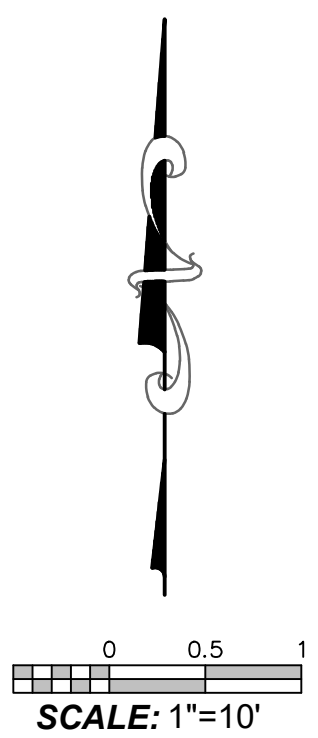
PRIOR TO THE START OF ANY VEGETATION OR PAVING REMOVAL, DEMOLITION, TRENCHING OR GRADING, CONTRACTORS AND CONSTRUCTION PERSONNEL SHALL BE ALERTED TO THE POSSIBILITY OF UNCOVERING UNANTICIPATED SUBSURFACE ARCHAEOLOGICAL FEATURES OR ARTIFACTS ASSOCIATED WITH PAST HUMAN OCCUPATION OF THE PARCEL. IF SUCH ARCHAEOLOGICAL RESOURCES ARE ENCOUNTERED OR SUSPECTED, WORK SHALL BE HALTED IMMEDIATELY, THE CITY ENVIRONMENTAL ANALYST SHALL BE NOTIFIED AND AN ARCHAEOLOGIST FROM THE MOST CURRENT CITY QUALIFIED ARCHAEOLOGISTS LIST SHALL BE RETAINED BY THE APPLICANT, THE LATTER SHALL BE EMPLOYED TO ASSESS THE NATURE, EXTENT AND SIGNIFICANCE OF ANY DISCOVERIES AND TO DEVELOP APPROPRIATE MANAGEMENT RECOMMENDATIONS FOR ARCHAEOLOGICAL RESOURCE TREATMENT WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, REDIRECTION OF GRADING AND/OR EXCAVATION ACTIVITIES, CONSULTATION AND/OR MONITORING WITH A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST, ETC. IF A DISCOVERY CONSISTS OF POSSIBLE HUMAN REMAINS, THE SANTA BARBARA COUNTY CORONER SHALL BE CONTACTED IMMEDIATELY IF THE CORONER DETERMINES THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION. A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST SHALL BE RETAINED TO MONITOR ALL FURTHER SUBSURFACE DISTURBANCE IN THE AREA OF THE FIND. WORK IN THE AREA MAY ONLY PROCEED AFTER THE ENVIRONMENTAL ANALYST GRANTS AUTHORIZATION. IF A DISCOVERY CONSISTS OF POSSIBLE PREHISTORIC OR NATIVE AMERICAN ARTIFACTS OR MATERIALS, A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST SHALL BE RETAINED TO MONITOR ALL FURTHER SUBSURFACE DISTURBANCE IN THE AREA OF THE FIND. WORK IN THE AREA MAY ONLY PROCEED AFTER THE ENVIRONMENTAL ANALYST GRANTS AUTHORIZATION.

MAINTENANCE STATEMENT

THE PROPOSED STORM WATER BMPs, WHICH INCLUDE 595 GALLON RAINSTORE SYSTEM SHALL BE MAINTAINED AS DESCRIBED IN SANTA BARBARA MUNICIPAL CODE 22.87.030 IN ACCORDANCE WITH THEIR APPROVED SPECIFICATIONS. OWNER (NAME AND TITLE): GAIL FISHER, HOMEOWNER

SIGNATURE DATE

PROPERTY LINES ARE APPROXIMATE



PREPARED BY: LEWIS ENGINEERING 1143 E. MAIN STREET VENTURA, CALIFORNIA 93001 PHONE: (805) 448-1353

RCE 40877 EXP. 3-31-23 DATE

Fisher - 09.dwg SHAD 2/21/2023 8:45 AM E:\0102\2\21\2023\3-46.dwg



**SITE SURVEY**  
**for A PORTION OF**  
**952 ALAMEDA PADRE SERRA**  
**APN 019-242-014**  
 ~CITY & COUNTY OF SANTA BARBARA ~  
 ~ STATE OF CALIFORNIA ~

~FEBRUARY 2021~  
 ~UPDATED NOVEMBER 2023~

**WATERS CARDENAS LAND SURVEYING, INC.**  
 JOSE V. CARDENAS & BARRY J. WATERS  
 LICENSED LAND SURVEYORS  
 5553 HOLLISTER AVE - STS. 7&8 - GOLETA, CALIFORNIA 93117  
 PHONE: (805) 967-4416  
 SCALE: 1" = 10' WC W.O. #21-0886

**BILDSTEN**  
**ARCHITECTURE**  
**and PLANNING**

30 WEST FIGUEROA ST | SB, CA 93101 | 805 845 2446

NOT FOR CONSTRUCTION

PROJECT:  
**FISHER ADU: FRONT YARD MODIFICATION**  
 952 ALAMEDA PADRE SERRA  
 SANTA BARBARA, CA 93103

APN: 019-252-015

THIS PROJECT RECORD DOCUMENT, DRAWINGS, AND/OR SPECIFICATIONS HAVE BEEN PREPARED ON THE BASIS OF DATA COMPILED AND FURNISHED BY OTHERS. BILDSTEN ARCHITECTURE & PLANNING AND BILDSTEN ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS RESULTING FROM THAT DATA BEING INCORPORATED INTO THIS DOCUMENT. THESE DRAWINGS AND SPECIFICATIONS AND THE INCORPORATED DATA AND DESIGN CONSTITUTE AN INSTRUMENT OF SERVICE AND ARE THE SOLE PROPERTY OF BILDSTEN ARCHITECTURE & PLANNING. THESE DOCUMENTS IN WHOLE OR IN PART SHALL NOT BE USED ON EXTENSIONS OF THE PROJECT OR FOR OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND APPROPRIATE COMPENSATION TO BILDSTEN ARCHITECTURE & PLANNING.



THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS AT THE JOB SITE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

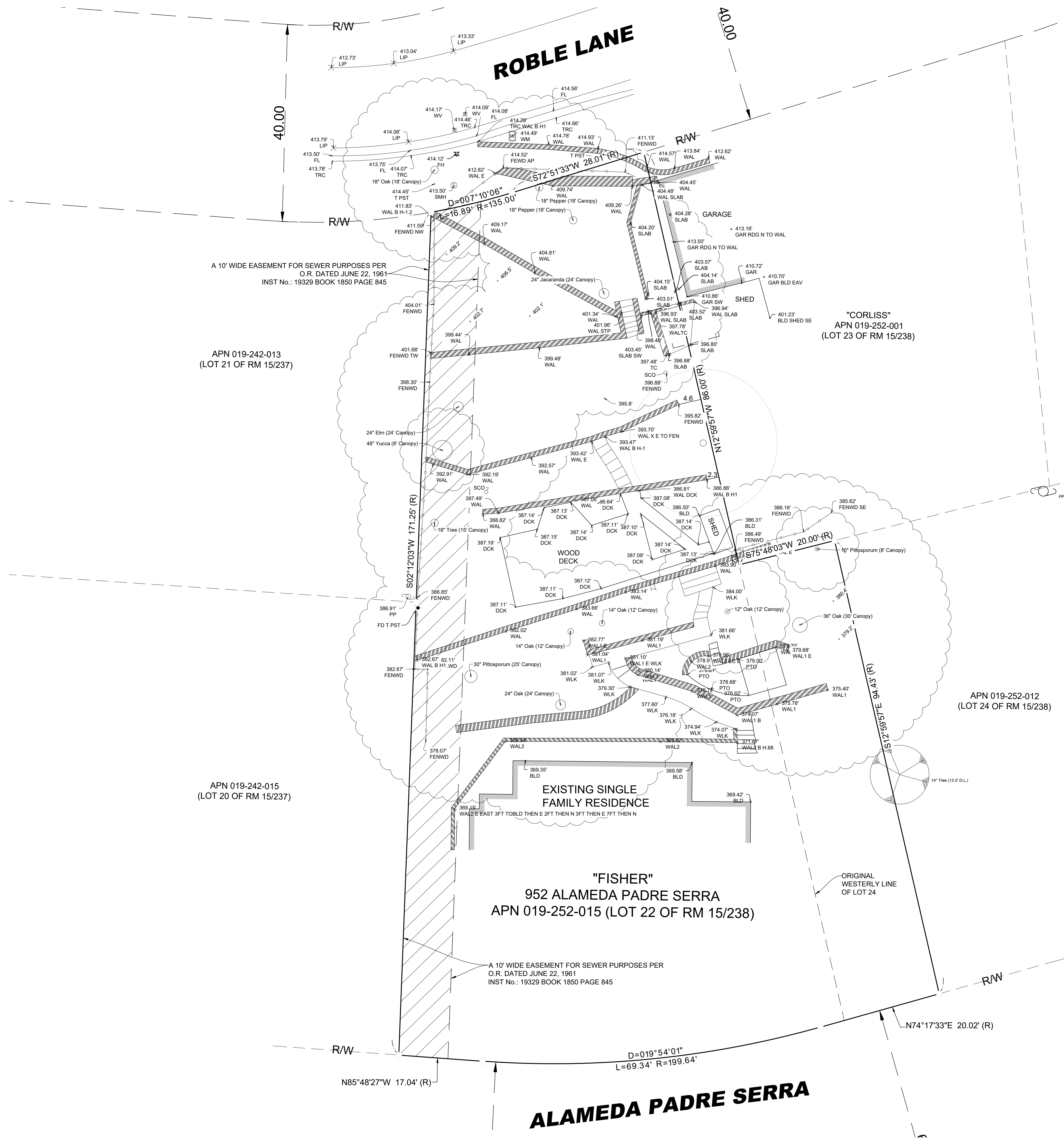
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SCALE: AS NOTED  
 PRINT DATE: 11/29/23  
 SHEET: EXISTING SITE SURVEY

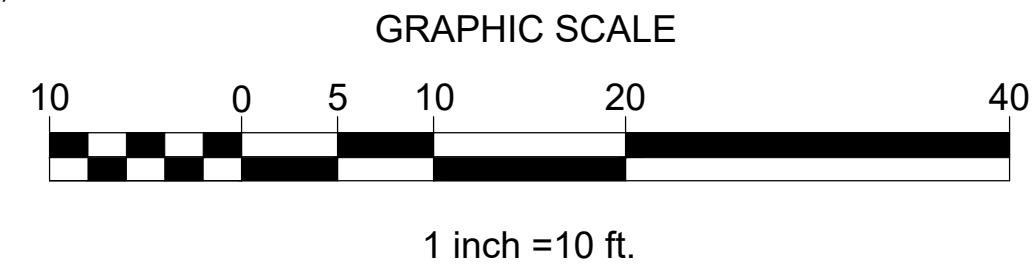
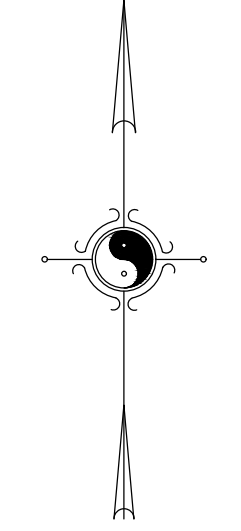
SHEET #LayNoinSubset of 38

**A0.1**



**LEGEND**

BLD	BUILDING
DCK	DECK
FH	FIRE HYDRANT
FL	FLOW LINE
LIP	EDGE OF PAVEMENT
PL	PROPERTY LINE
PP	POWER POLE
PST	POST
PTIO	PATIO
R/W	RIGHT OF WAY
SMH	SEWER MANHOLE
T*	(SPECIES* SIZE*DRIP RADIUS*)
T POST	T POST
TRC	TOP OF ROLLED CURB
TW	TOP OF WALL
WLK	WALK
WM	WATER METER
WV	WATER VALVE



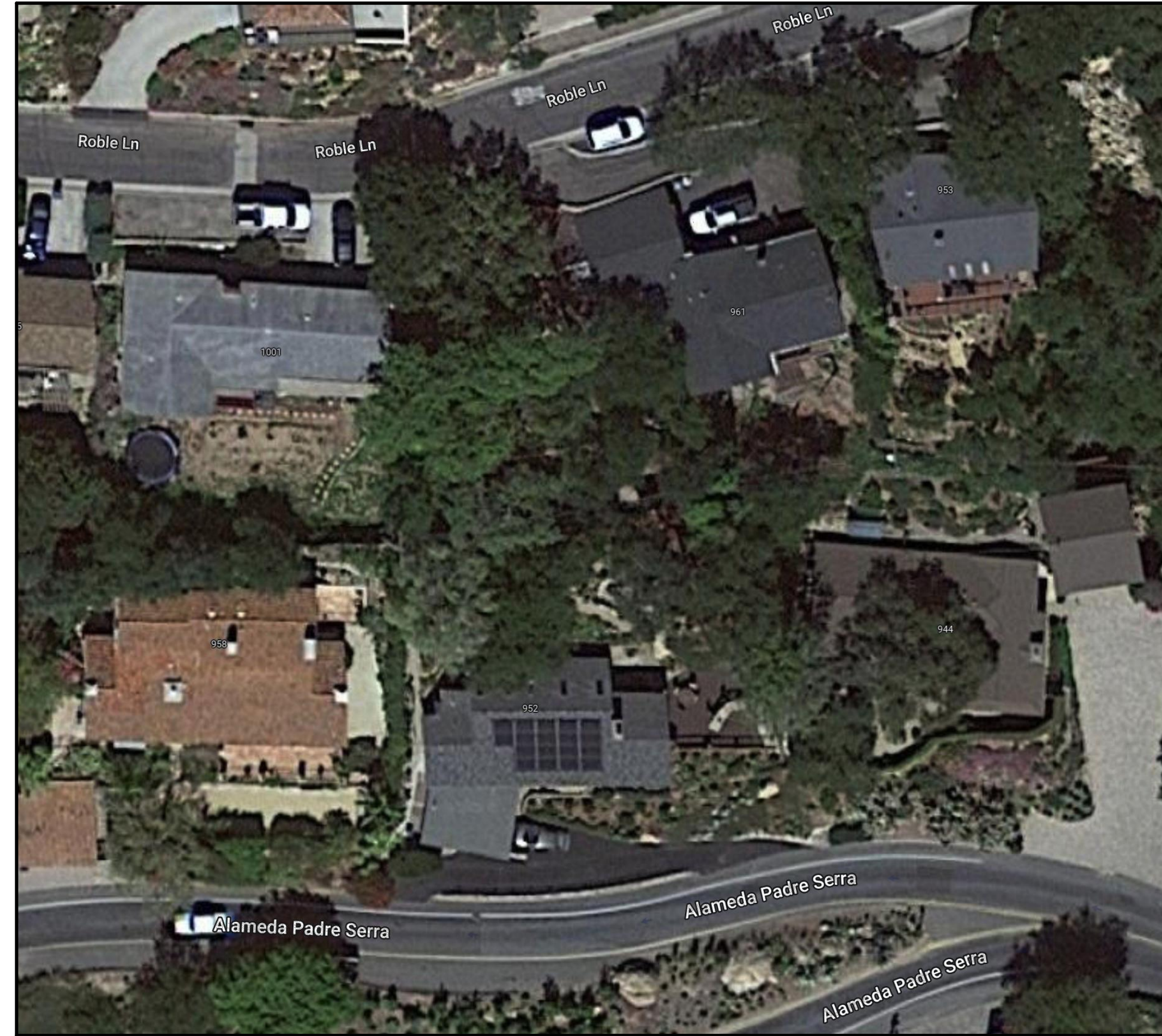
**NOTES:**

- (1) HORIZONTAL BASIS OF COORDINATES IS NAD83 PER STA 0009 PER RECORD OF SURVEY BOOK 147, PAGES 70-74.
- (2) VERTICAL DATUM IS NAVD88 PER STA 0009 PER RECORD OF SURVEY BOOK 147, PAGES 70-74. ELEVATION 312.63' FEET
- (3) ○ = NO MONUMENT FOUND OR SET UNLESS OTHERWISE NOTED
- (4) ● = FOUND MONUMENT AS NOTED
- (5) (R) = BOUNDARY SHOWN IS PER MAP BOOK 15 PAGES 236-238 AND INST No.: 2013-0035285 OF O.R., ROTATED TO NAD83
- (6) EASEMENTS SHOWN HERON ARE PER W.F.G TITLE REPORT #21-199159 DATED 12-31-2020

FILE LOCATIONS: M:\arch\proj\952 Alameda Padre Serra\952 Alameda Padre Serra\PROJECT\24\24015\24015.dwg | DATE: 11/29/23 | PRINT DATE: Wednesday, November 29, 2023



**1** ADU LOCATION VIEW  
SCALE: 1" = 1'-0"



**3** FISHER\_952 APS\_aerial  
SCALE: 1:1.18



**2** FISHER\_952 APS\_exterior  
SCALE: 1" = 1'-0"

MEMO/REVISION: DATE:  
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 PLANNING SHO 3rd SUBMITTAL 06/08/2023  
 PLANNING SHO 4th SUBMITTAL 08/14/2023

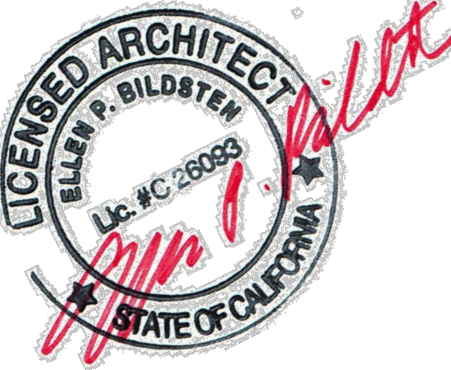
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**ARCHITECTURE**  
**and PLANNING**  
 30 WEST FIGUEROA ST | SB CA 93101 | 805 845 2446

NOT FOR CONSTRUCTION

PROJECT:  
**FISHER ADU: FRONT YARD MODIFICATION**  
 952 ALAMEDA PADRE SERRA  
 SANTA BARBARA, CA 93103

APN: 019-252-015

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SCALE: AS NOTED  
 PRINT DATE: 11/29/23

SHEET:  
 PHOTOS: AERIAL | LOCATION | EXTERIOR

SHEET #Lay\In\Subset of 38

**A0.2**

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AERIAL - MAIN RESIDENCE



AERIAL - MAIN RESIDENCE



EAST FACADE - MAIN RESIDENCE



SOUTHWEST FACADE - MAIN RESIDENCE



WEST FACADE - MAIN RESIDENCE



NORTH FACADE - MAIN RESIDENCE



MAIN RESIDENCE FROM ADU LOCATION



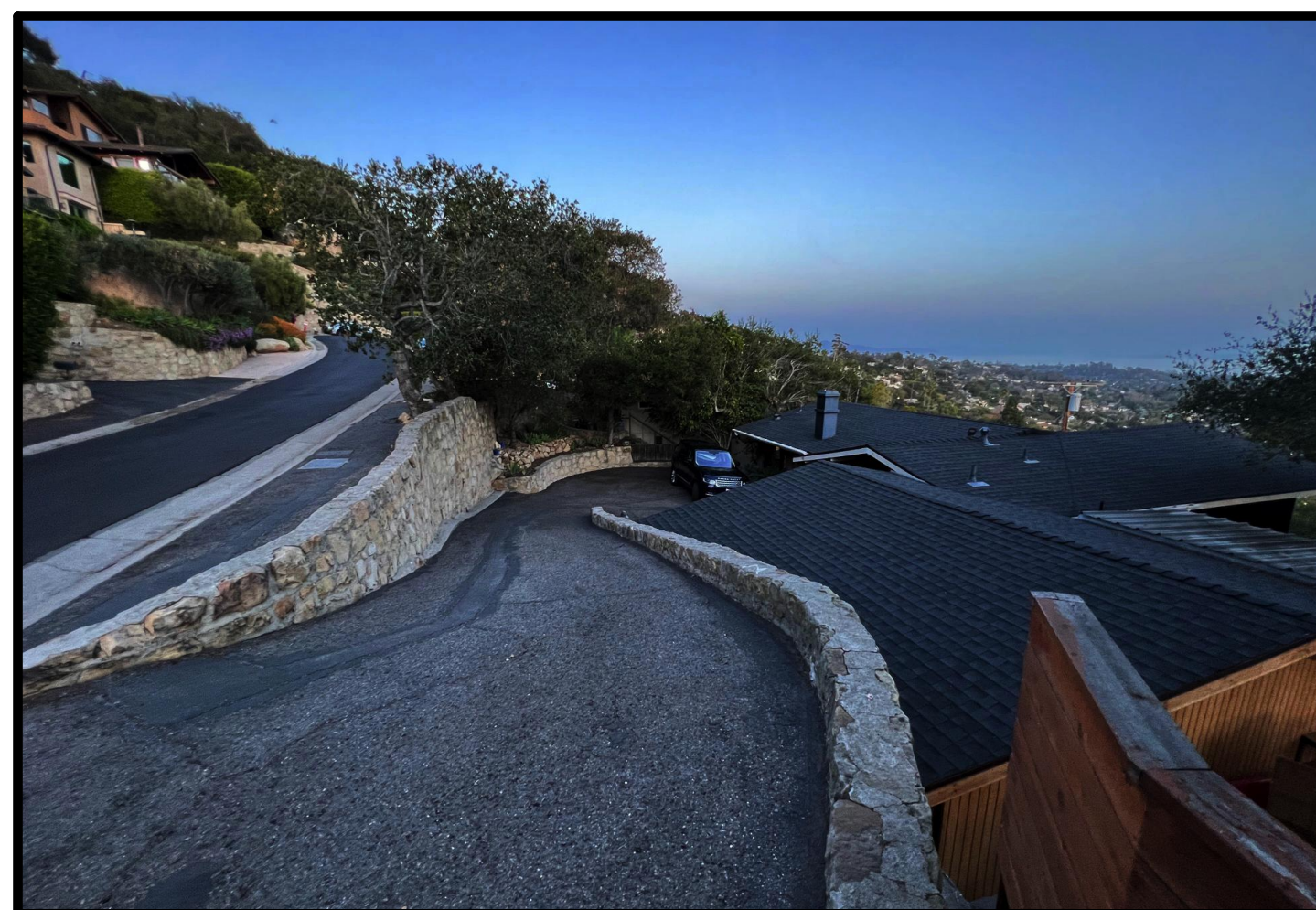
EAST NEIGHBOR FROM ADU LOCATION



WEST NEIGHBOR FROM ADU LOCATION



PROPERTY FROM ROBLE LANE



EAST NEIGHBOR ON ROBLE LANE



WEST NEIGHBOR ON ROBLE LANE

FILE LOCATION: \\mch001\proj\019-252\019-252-015\Fishers\A0.3\_CoverSheet\_11/29/23.rvt | DATE: 11/29/23 | PRINT DATE: Wednesday, November 29, 2023

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PLANNING SHO 3rd SUBMITTAL 06/08/2023  
PLANNING SHO 4th SUBMITTAL 08/14/2023



NOT FOR CONSTRUCTION

PROJECT:  
FISHER ADU: FRONT YARD MODIFICATION  
952 ALAMEDA PADRE SERRA  
SANTA BARBARA, CA 93103

APN: 019-252-015

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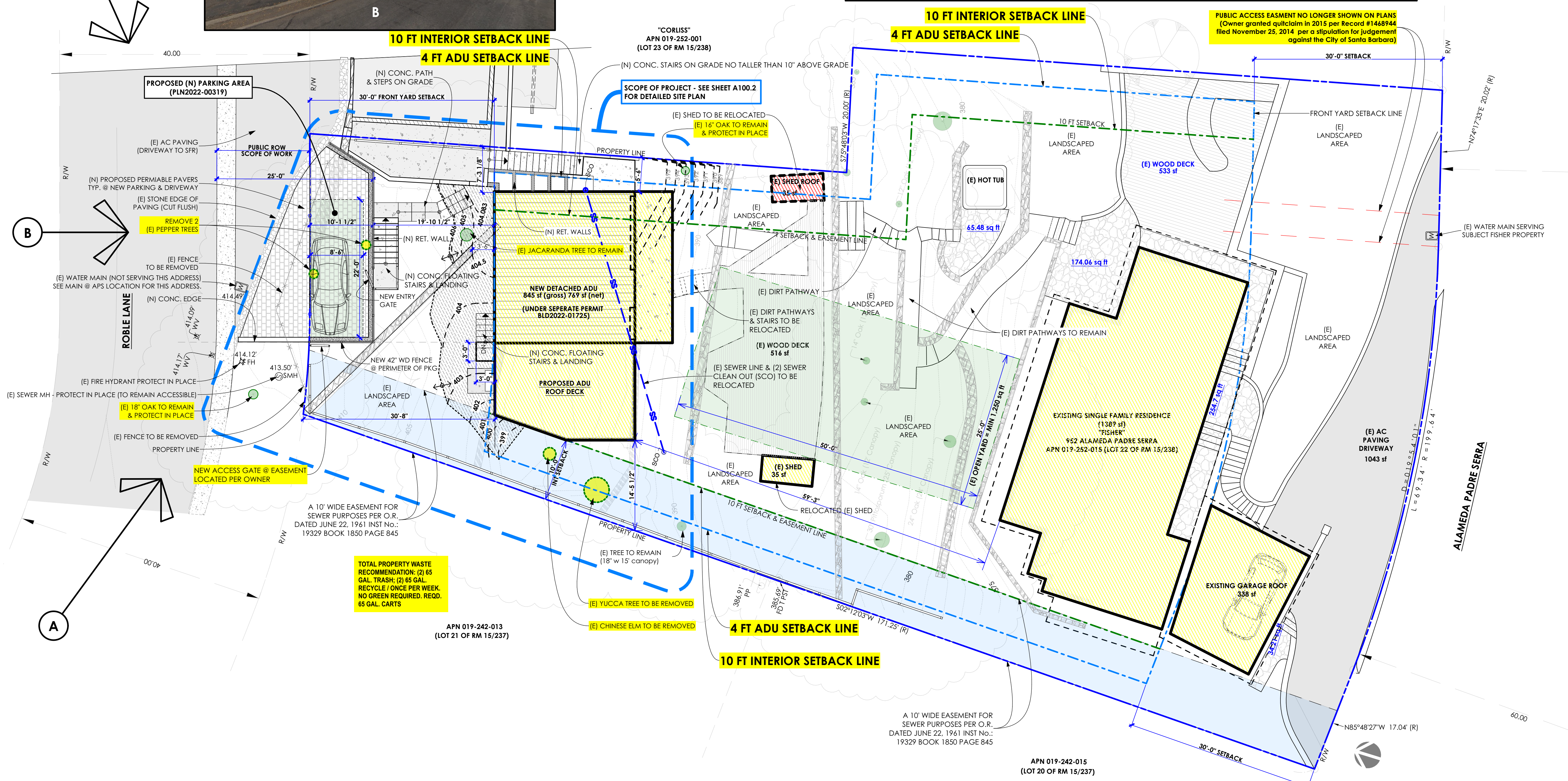
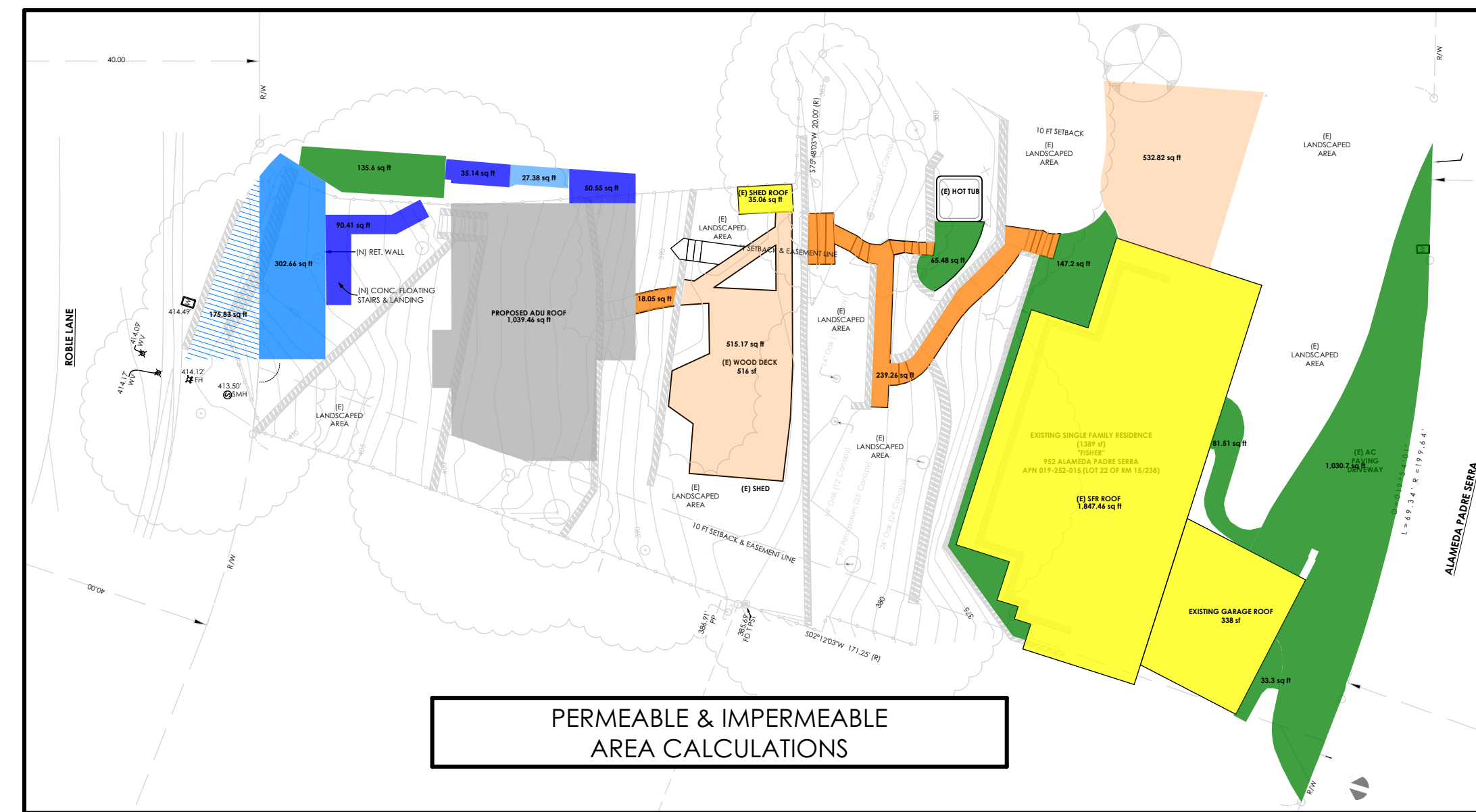


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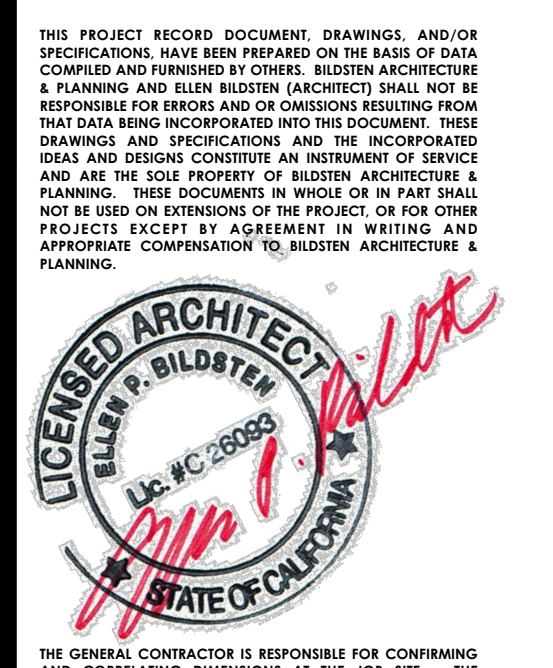
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SCALE: AS NOTED  
PRINT DATE: 11/29/23  
SHEET: PHOTOS: SITE AND AREA

SHEET #LayNoinSubset of 38



**1** FULL SITE PLAN W/ SURVEY OVERLAY  
 SCALE: 1/8" = 1'-0"



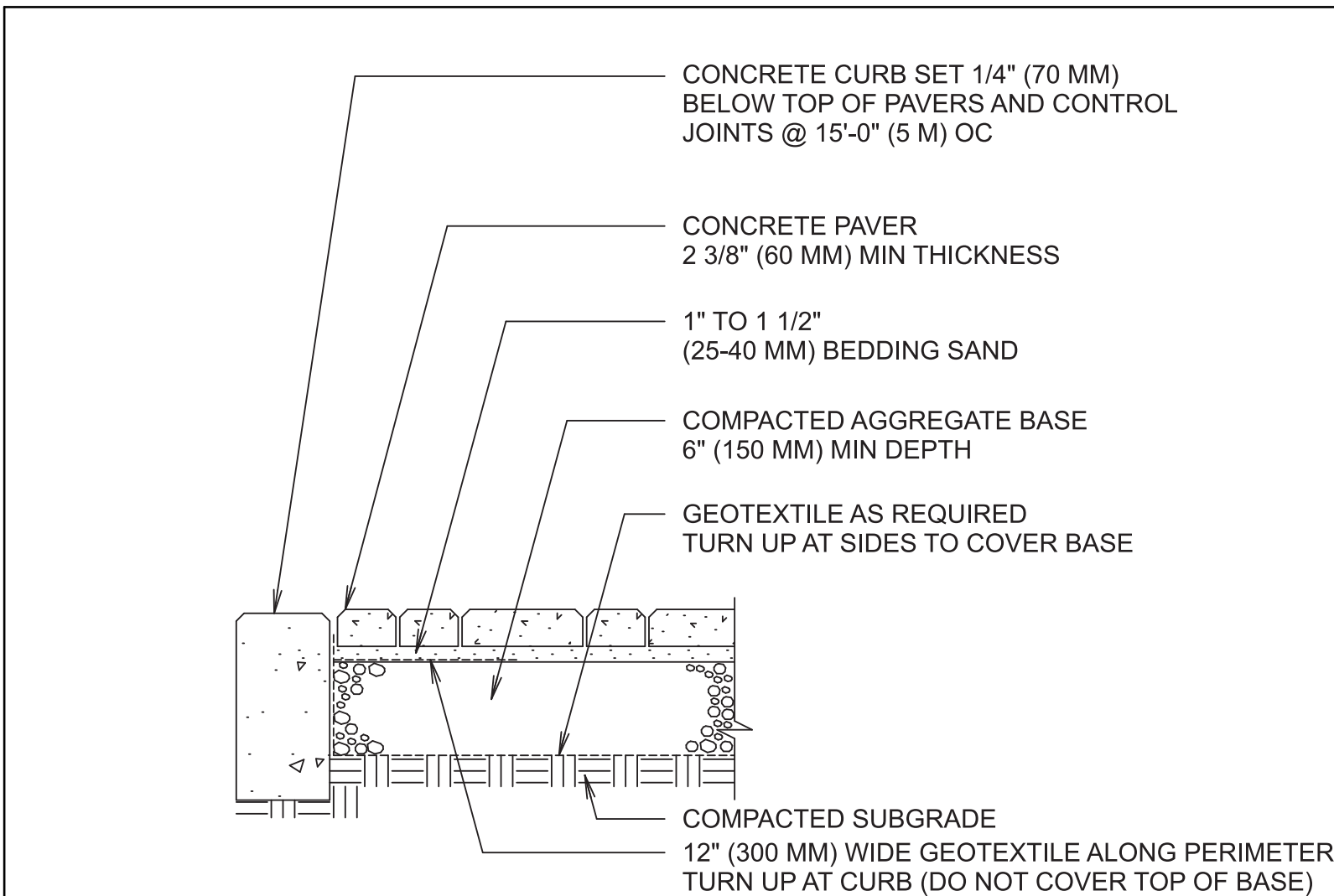
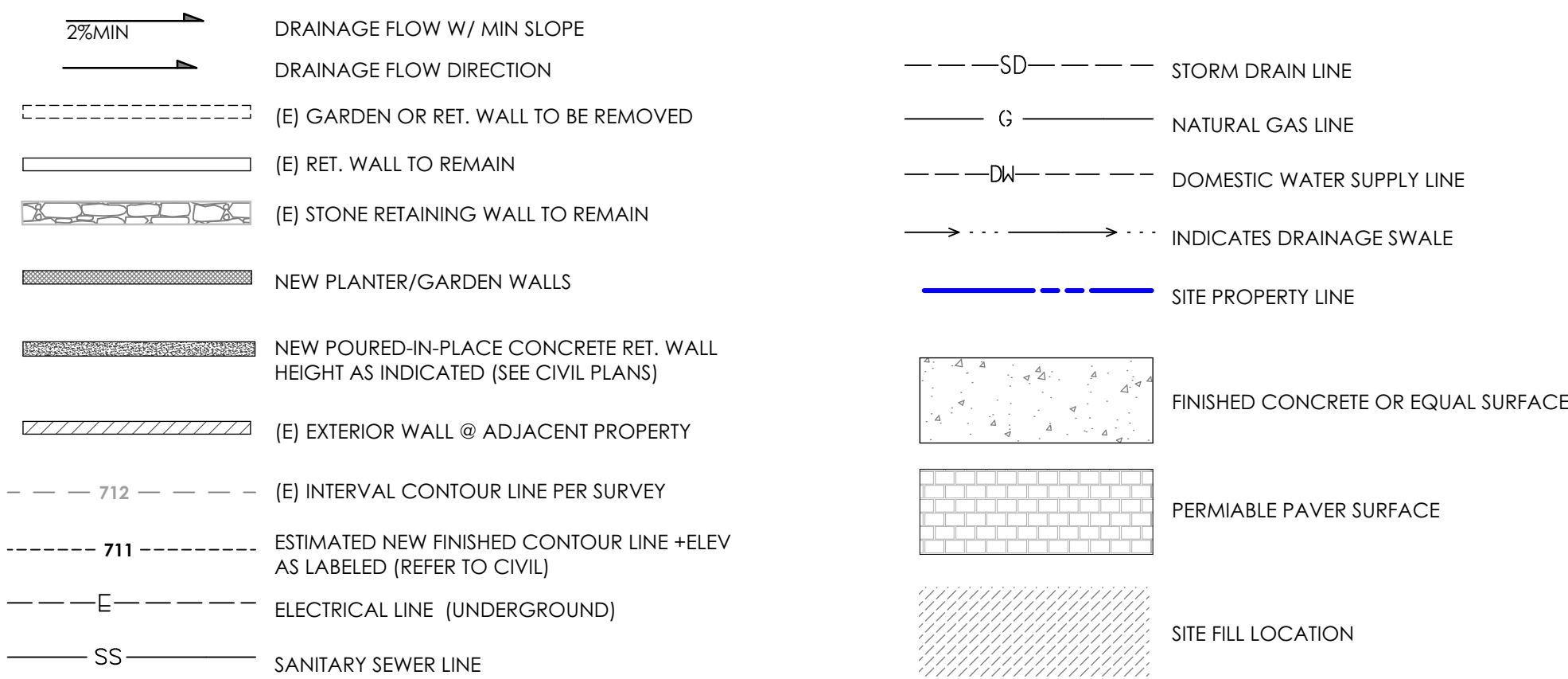
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SCALE: AS NOTED  
 PRINT DATE: 11/29/23  
 SHEET: **FULL SITE PLAN (SURVEY OVERLAY)**

FILE LOCATION: \\bildsten\top\mktch\adus\aduplan\952alameda\952alameda\112923\112923.dwg | DATE: 11/29/23 | PRINT DATE: Wednesday, November 29, 2023

**SITE PLAN LEGEND**



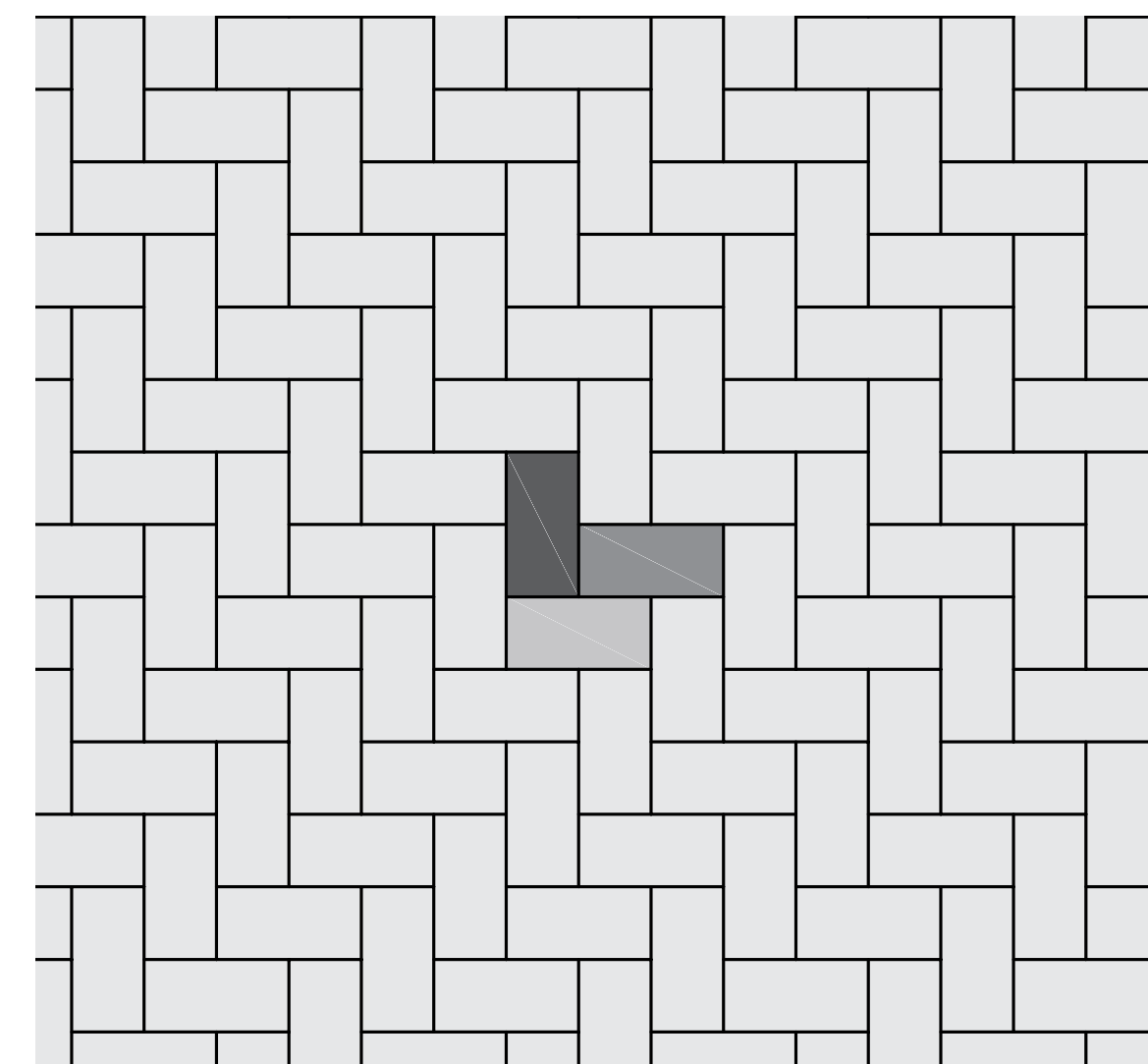
- NOTES:**
- THICKNESS OF AGGREGATE BASE WILL VARY WITH SUBGRADE CONDITIONS AND CLIMATE. COLDER CLIMATES MAY REQUIRE THICKER BASES.
  - CONCRETE PAVERS SHOULD BE PLACED ON A CEMENT TREATED BASE IF SOIL IS EXTREMELY WEAK OR CONSTANTLY SATURATED. PAVERS CAN BE OVERLAID OR INLAID ON EXISTING ASPHALT OR CONCRETE DRIVEWAYS.
  - CONSULT ICPI TECH SPEC 2 FOR GUIDELINES ON SPECIFICATIONS FOR BASE MATERIALS, SUBGRADE SOIL AND BASE COMPACTION.
  - PLASTIC, STEEL, ALUMINUM OR PRECAST CONCRETE, EDGING MAY BE USED.

**2 DRIVEWAY PAVERS W/ CONC. EDGES**

NOT TO SCALE

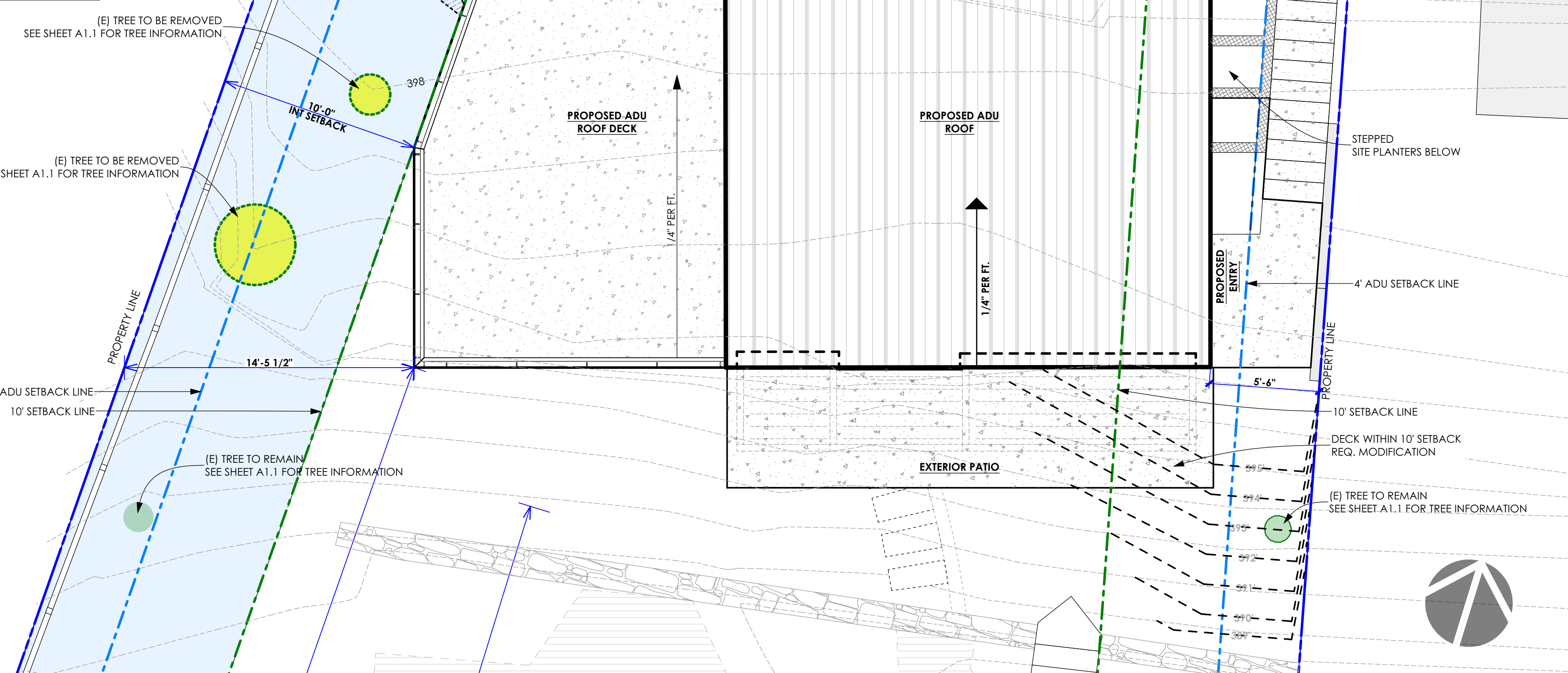
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**HOLLAND STONE BRIKSTONE™ AQUALINE OLD YORK**  
1-PIECE HERRINGBONE PATTERN



**1 SITE PLAN**

SCALE: 1/4" = 1'-0"



**THE DIMENSIONS OF THESE STEPS AND LANDING ARE MINIMUM SIZE PER CODE AND ENCROACHMENT INTO FRONT YARD SETBACK IS CONSIDERED AN ACCEPTABLE AMOUNT PER SBMC 30.140.090.C.4**

**BUILDER TO CONTACT ARCHITECT:**

- FOR CLARIFICATION OF DIMENSIONS: **DO NOT SCALE FROM DRAWINGS.**
- TO RESOLVE PERCEIVED DIFFERENCES BETWEEN THE STRUCTURAL AND ARCHITECTURAL PLANS.
- SHOULD SURFACE, SUBSURFACE OR OTHERWISE CONCEALED PHYSICAL CONDITIONS DIFFER MATERIALLY FROM THOSE PROVIDED IN THE ARCHITECT'S DRAWINGS.

**GENERAL NOTES:**

- THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2019 CALIFORNIA RESIDENTIAL CODE (CRC), 2019 CALIFORNIA BUILDING CODE (CBC), 2019 CALIFORNIA GREEN BUILDING CODE, 2019 MECHANICAL CODE (CMC), 2019 CALIFORNIA PLUMBING CODE (CPC), 2019 CALIFORNIA ELECTRICAL CODE (CEC) AND 2019 CALIFORNIA ENERGY CODE.
- BUILDER SHALL OBTAIN A SEPARATE PERMIT FOR INSTALLATION OF AUTOMATIC FIRE SPRINKLERS. THE BUILDING SHALL BE COMPLETELY FIRE SPRINKLED.
- REFER TO: CIVIL GRADING & DRAINAGE PLANS FOR MORE INFORMATION. MECHANICAL, PLUMBING, AND ELECTRICAL PLANS ARE AN INTEGRAL PART OF THIS COMPLETE CONSTRUCTION DOCUMENT SET. REFER TO SHEET INDEX ON A-001 FOR ALL REFERENCED PLANS IN SET.
- BUILDER SHALL OBTAIN SEPARATE PERMITS FROM THE CITY FOR ADDITIONAL RETAINING WALLS AND FENCES NOT SHOWN ON THIS PLAN SET PRIOR TO INSTALLATION.
- ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL BE UNDER SEPARATE PERMIT ISSUED BY THE CITY, UNLESS DOCUMENTED OTHERWISE.
- BUILDER SHALL CONSTRUCT DRIVEWAY PER CITY STANDARDS, AND BUILDER SHALL RECONSTRUCT ANY DAMAGED OR DEFACED CONCRETE CURB, AND OR DRIVEWAY PER CITY STANDARDS. ENCROACHMENT PERMIT REQUIRED. NEW SIDEWALK DRAINS SHALL BE PER CITY STANDARD DETAILS. ENCROACHMENT PERMITS MAY BE REQUIRED. MAXIMUM SIZE OF PIPE OF SIDEWALK DRAIN IS 3".
- UNDERGROUND UTILITIES ARE TO COMPLY WITH CITY STANDARDS. CALL UNDERGROUND SERVICE ALERT PRIOR TO DIGGING IN RIGHT-OF-WAY.
- BUILDER SHALL KEEP STREETS FREE OF DEBRIS AND CONTROL DUST AT ALL TIMES.
- ADDRESSES SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE ADDRESS NUMBERS SHALL BE A MINIMUM OF FOUR INCHES (4") IN HEIGHT AND CONTRASTING COLOR TO THEIR BACKGROUND.
- STORM WATER RUNOFF SHALL NOT DISCHARGE FROM THE CONSTRUCTION SITE TO THE CITY STREETS OR MUNICIPAL STORM DRAIN SYSTEM WITHOUT TREATMENT BY A SUITABLE POLLUTION CONTROL DEVICE. STORM WATER RUNOFF DISCHARGES WITHOUT TREATMENT IS A VIOLATION OF THE CITY'S STORMWATER ORDINANCE. DISCHARGING ANY MATERIAL OTHER THAN UNCONTAMINATED STORM WATER RUNOFF TO CITY STREETS OR TO THE MUNICIPAL STORM DRAIN SYSTEM IS PROHIBITED AND IS A VIOLATION OF THE MUNICIPAL CODE.
- THE BUILDER MAY BE REQUIRED TO CONFIRM IN WRITING TO THE CITY THE FOLLOWING:
  - THAT WOOD SPECIES AS USED IN CONSTRUCTION ARE EXACTLY AS SPECIFIED ON THE PLANS.
  - THAT HOLD-DOWNS(B) BOLTS WERE FASTENED JUST PRIOR TO COVERING UP THE WALL FRAMING.
  - THAT CEMENT PLASTER SHEAR WALLS, PLYWOOD SHEAR WALLS AND ROOF FLOOR DIAPHRAGMS HAVE BEEN NAILED TO THE FRAMING AS PER APPROVED PLANS.
- PRIOR TO THE CONTRACTOR REQUESTING THE FOUNDATION INSPECTION, A PROPERLY LICENSED SURVEYOR OR ENGINEER SHALL ESTABLISH THE PROPERTY LINES AND LOCATION OF THE BUILDING ON THE PROPERTY SUCH THAT THE REQUIRED SETBACKS CAN BE VERIFIED BY SIMPLY TAKING MEASUREMENTS FROM ALL PROPOSED BUILDING CORNERS TO THE PROPERTY LINES. THE SURVEYOR MAY BE REQUIRED TO INFORM THE CITY IN WRITING OF HIS/HER COMPLETION OF THE WORK PRIOR TO THE FOUNDATION.
- CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW ALL OF THE CONTRACT DOCUMENTS, EXAMINE THE PROJECT SITE AND BECOME FAMILIAR WITH THE SCOPE OF WORK AND THE INTENT OF THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS. DURING BIDDING, THE CONTRACTOR SHALL OBTAIN PROPER, WRITTEN CLARIFICATION OF ANY DISCREPANCY, CONFLICT, AND/OR UNCLEAR ITEM PRIOR TO THE SUBMISSION OF BIDS. IF DISCREPANCIES ARISE DURING CONSTRUCTION, DO NOT PROCEED WITH ANY INSTALLATION AND/OR CONSTRUCTION THAT MAY BE AFFECTED UNTIL ISSUES ARE RESOLVED.
- IT IS UNDERSTOOD THAT ALL CONTRACTORS AND THEIR PERSONNEL ARE PROPERLY TRAINED AND EXPERIENCED TO CONSTRUCT AND OTHERWISE CARRY OUT THE INTENT OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
- THE CONTRACT DOCUMENTS CONSIST OF THE COMPLETE PLANS, SPECIFICATIONS, REPORTS, BIDDING INFORMATION AND OTHER INFORMATION PREPARED BY THE BILDSTEN ARCHITECTURE & PLANNING, ITS CONSULTANTS OR CONSULTANTS Hired BY THE OWNER. IN THE EVENT OF DISCREPANCIES OR CONFLICTS IN THE DOCUMENTS, INFORMATION IN THE SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE DRAWINGS. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. DO NOT SCALE THE PRINTED DRAWINGS - REFER TO DIMENSIONS PRINTED ON PLANS.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL THE CONTRACT DOCUMENTS AS THEY RELATE TO THE CONTRACTOR'S WORK. IN ADDITION, EACH CONTRACTOR IS RESPONSIBLE TO COORDINATE THEIR OWN WORK WITH THE WORK OF OTHER TRADES.
- ALL WORK IS TO CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC) AND ALL APPLICABLE STATE AND LOCAL ORDINANCES.
- ONLY APPROVED WORKING DRAWINGS, WITH THE STATEMENT "ISSUED FOR CONSTRUCTION" ON THE COVER SHEET, ARE TO BE USED FOR CONSTRUCTION OF THIS PROJECT. CONTRACTORS USING OTHER THAN APPROVED DRAWINGS ARE SOLELY RESPONSIBLE FOR SUCH WORK.**
- ALL DIMENSIONS ARE TO FACE OF STUD IN THE WALL SYSTEM, FACE OF CONCRETE (OR CMU), OR CENTER LINE OF WALL UNLESS OTHERWISE NOTED.

MEMO/REVISION: DATE:

PLANNING SHO 2nd SUBMITTAL 04/25/2023  
PLANNING SHO 3rd SUBMITTAL 06/08/2023  
PLANNING SHO 4th SUBMITTAL 08/14/2023

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**NOT FOR CONSTRUCTION**

**FISHER ADU: FRONT YARD MODIFICATION**  
952 ALAMEDA PADRE SERRA  
SANTA BARBARA, CA 93103

PROJECT: APN: 019-252-015

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SCALE: AS NOTED  
PRINT DATE: 11/29/23  
SHEET:

**SITE PLAN (PROJECT SCOPE)**

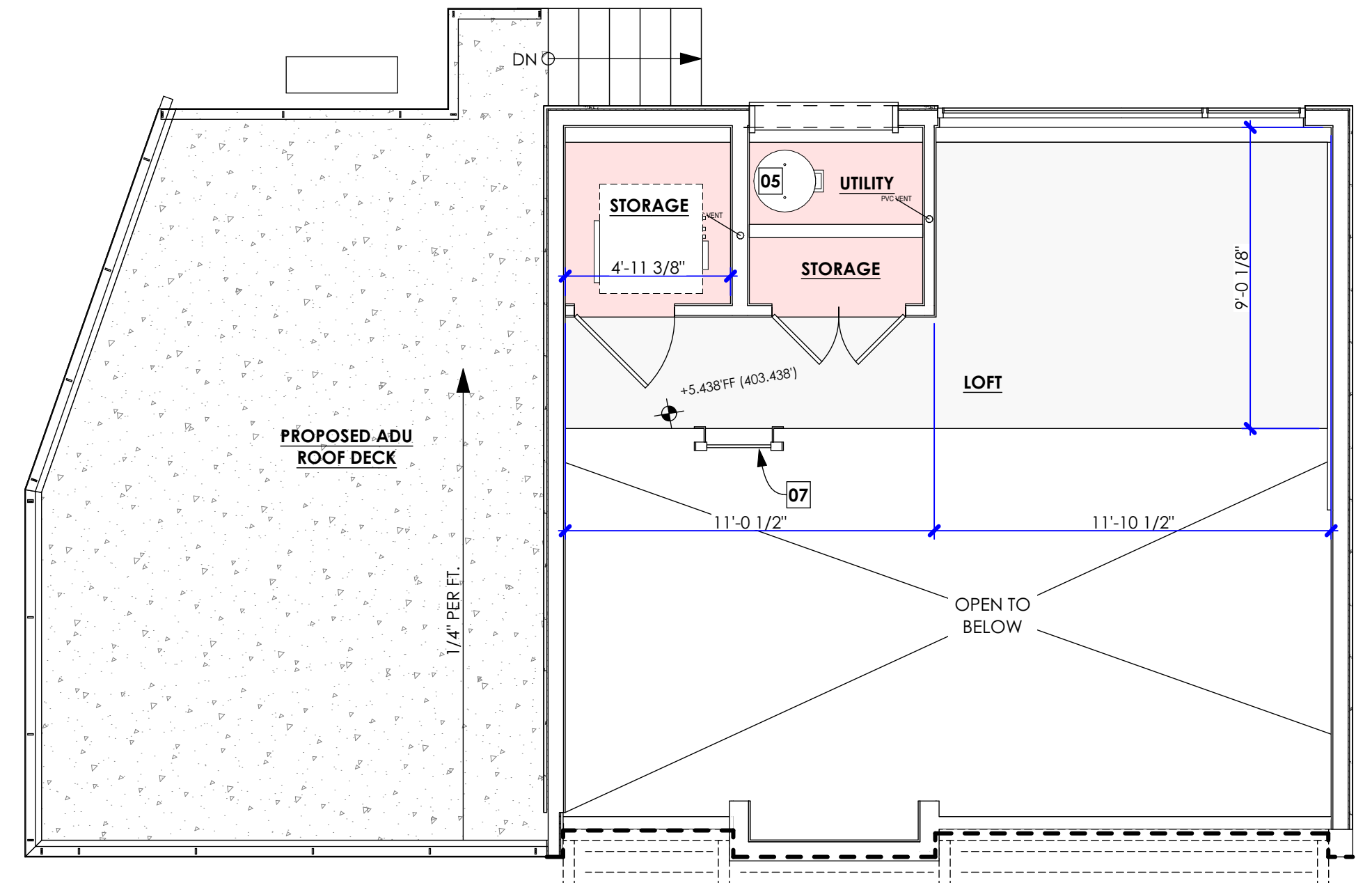
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SHEET # LayOutSubset of 38

**A1.2**

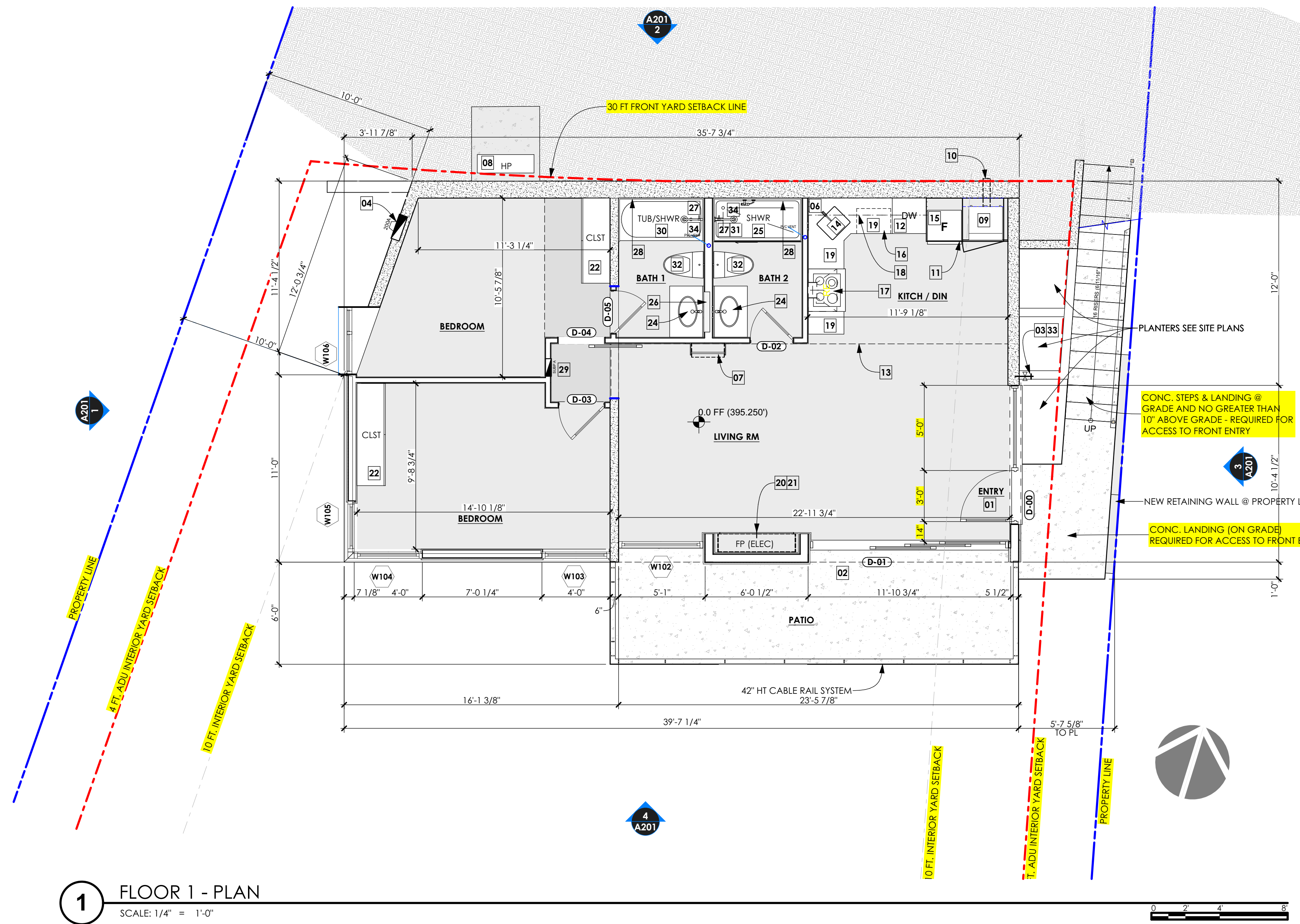
**FLOOR PLAN KEY NOTES**

- 01 MAIN ENTRY - SEE DOOR SCHEDULE - OWNER TO CONFIRM LOCK SET AND HARDWARE w/ CONTRACTOR PRIOR TO ORDER
- 02 LANDINGS AT EXTERIOR DOORS - AT EXTERIOR DOORS THAT ARE NOT REQUIRED EXIT DOORS, LANDINGS SHALL BE NOT MORE THAN 7/8 INCHES BELOW THE TOP OF THE THRESHOLD.
- 03 MAIN WATER S.O.V. - SEE CIVIL GRADING PLANS
- 04 200A ELECTRICAL SERVICE - MAIN PANEL/METER "M" - REFER TO ELEC. SHEETS
- 05 ELECTRIC W/H VENT DIRECTLY OUTSIDE OF EXTERIOR WALL - REFER TO M SHEETS: INSTALLED BY CONTRACTOR PER SPECIFICATIONS
- 06 REVERSE OSMOSIS UNDER COUNTER SYSTEM (PROVIDE TO FRIDGE WATER) BY OWNER - INSTALLED BY CONTRACTOR
- 07 CUSTOM LADDER TO LOFT - HARD WOOD TREADS TO DOUBLE FOR/AND FINISH AS SHELVES - DESIGN BUILD W/ CONTRACTOR
- 08 HEAT PUMP UNITS FOR MINI-SPLIT CONDITIONING SYSTEM - INSTALL ON CONCRETE SUPPORT PADS PER MFR. REC. - REFER TO MECHANICAL PLANS FOR ADDITIONAL INFORMATION
- 09 WASHER AND DRYER - OWNER SELECT. CONTRACTOR INSTALL. PROVIDE GAS & ELEC. OPTIONAL HOOKUP. TERMINATION OF VENT SHALL COMPLY WITH SECTION 503.6 OF THE UNIFORM MECHANICAL CODE. DRYER VENTS THROUGH NEAREST EXTERIOR WALL. DRYER VENT SHOWN BY DASHED GREY LINE. DRYER DUCTS SHALL NOT EXCEED A COMBINED HORIZONTAL & VERTICAL LENGTH OF 14FT, INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET WILL BE DEDUCTED FOR EACH ELBOW IN EXCESS OF TWO.
- 10 DRYER VENT LOCATION
- 11 CUSTOM FULL HEIGHT FRIDGE/LAUNDRY/STOR. CABINERY - DESIGN BUILD TO SPECS OF SELECTED FRIDGE AND LAUNDRY EQUIP.
- 12 JEN-AIR 24" BUILT-IN TRIFECTA UNDER COUNTER DSHWASHER (88D8A - JDTSS244GP) - OWNER TO CONFIRM SELECTION. CONTRACTOR INSTALL.
- 13 EDGE OF KITCHEN SOFFIT ABOVE.
- 14 KITCHEN CORNER SINK w/ FAUCET & GARBAGE DISPOSAL - OWNER SELECT, CONTRACTOR INSTALL.
- 15 24" BUILT-IN REFRIGERATOR/FREEZER (548NXP0E) - OWNER TO SELECT, CONTRACTOR INSTALL.
- 16 JEN-AIR 24" UNDER COUNTER MICROWAVE OVEN w/ DRAWER DESIGN (JMDPS24GS) - OWNER TO CONFIRM SELECTION. CONTRACTOR INSTALL.
- 17 JEN-AIR 37" INDUCTION SLIDE IN RANGE (JIS452DS) w/ 37" PYRAMID CANOPY WALL 400 CFM VENTILATION HOOD (JWSS30FS) - (CONTRACTOR TO INSTALL ELECTRICAL CIRCUIT FOR INDUCTION RANGE) - OWNER TO CONFIRM SELECTIONS. CONTRACTOR INSTALL.
- 18 BUILT IN UPPER SHELVING/CABINERY - OWNER TO SELECT SIZE & DEPTH & STYLE OF STORAGE. CONTRACTOR INSTALL.
- 19 24" D BASE CABINETS TO 36" H. w/ COUNTER TOP - OWNER SELECTED, CONTRACTOR INSTALL.
- 20 UL LISTED ELECTRIC FIREPLACE - Dimplex Opti-V™ Dual Virtual Fireplace (VF5452L)
- 21 BUILT IN CUSTOM ENTERTAINMENT CENTER w/ CABINERY / BOOK CASE - DESIGN BUILD w/ ARCHITECT & CONTRACTOR.
- 22 CUSTOM CLOSET CABINERY - 7 H. CUSTOM CLST CAB. OWNER TO CONSULT W/ CLOSET SPECIALIST OR DESIGN BUILD W/ CONTRACTOR.
- 23 CUSTOM SHELVING AND COUNTER TO MATCH SINK/VANITY - OWNER SELECT. DESIGN/BUILD W/ CONTRACTOR INSTALL.
- 24 VANITY SINK IN 36" H. 24" D BASE CABINET AND COUNTER SURFACE. OWNER SELECT, CONTRACTOR INSTALL.
- 25 WALK IN SHOWER w/ TEMPERED OR LAMINATED SAFETY GLASS [CRC R308.4.5] & TIGHT FITTING SLIDING GLASS DOOR TO 70" HEIGHT - FIXTURES, FAUCETS & TILE - OWNER SELECT, CONTRACTOR INSTALL.
- 26 ROBERTI PL1640 SERIES INSET MEDICINE CABINETS w/ ELEC. w/ 2" INLINE MODULAR LIGHTS ON EA. SIDE OF 20" M SERIES MIRROR @ CENTER. OWNER TO CONFIRM SELECTION. CONTRACTOR INSTALL.
- 27 SHOWER & TUB FAUCETS - PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE (CPC 408.3) OWNER SELECT, CONTRACTOR INSTALL.
- 28 WALK IN SHOWER w/ TILE WALLS MIN 70" HEIGHT - TIGHT FITTING SHOWER DOOR TO 70" HEIGHT w/ TEMPERED OR LAMINATED SAFETY GLASS [CRC R308.4.5] BENCH, FAUCETS & TILE - OWNER SELECT, CONTRACTOR INSTALL. SEE S/A-504
- 29 SUB PANEL "A" REFER TO ELECTRICAL DRAWINGS
- 30 SHOWER/TUB COMBO UNIT. **NON-SLIP JOINT TRAP SHALL BE USED (CPC Sec.402.10)** MATERIALS OTHER THAN STRUCTURAL ELEMENTS USED IN SHOWERS SHALL BE A MATERIAL TYPE NOT ADVERSELY AFFECTED BY MOISTURE. FINISH MATERIAL IN SHOWER SHALL BE FINISHED TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. IF OTHER THAN SHOWER CURTAIN IS USED, SHOWER DOORS TO BE TEMPERED OR LAMINATED SAFETY GLASS [CRC R308.4.5] & TIGHT FITTING SLIDING GLASS DOOR TO 70" HEIGHT
- 31 THERMOSTATIC SHOWER VALVE/TUB MIXING VALVE CONTROLS LOCATION: PROVIDE INDIVIDUAL CONTROL VALVES PER (CPC 408.3) - OWNER TO SELECT MAKE/MODEL
- 32 ELONGATED TOILET - OWNER SELECT (MAX 1.28 GAL PER FLUSH. MIN 24" CLEAR SPACE @ FRONT OF TOILET)
- 33 WATER SHUT OFF LOCATION - CONFIRM W/ OWNER PRIOR TO INSTALLATION
- 34 10" RAIN SHOWER HEAD - OWNER SELECT, CONTRACTOR INSTALL.
- 35 SCUTLE ATTIC ACCESS @ CEILING - MINIMUM 22" x 30" SEE SHEET G-002 NOTES "F, Z" FOR ADDITIONAL INFORMATION.

**2 LOFT PLAN**  
SCALE: 1/4" = 1'-0"



**1 FLOOR 1 - PLAN**  
SCALE: 1/4" = 1'-0"



**PLAN GENERAL NOTES**

- A. REFER TO ARCHITECTURAL FLOOR PLANS FOR ADDITIONAL INFORMATION. REFER TO SHEET GN-002 FOR ADDITIONAL GENERAL CONSTRUCTION NOTES.
- B. ALL DIMENSIONS ARE TO FRAMING EDGE OR CENTER AND NOT TO FINISH WALL UNLESS NOTED OTHERWISE (U.N.O.)
- C. SEE STRUCTURAL S PLANS FOR ADDITIONAL STRUCTURAL INFORMATION.
- D. SEE CIVIL C PLANS FOR ADJACENT GRADE REFERENCE AND GRADING INFORMATION.
- E. SEE SITE PLANS AND/OR CIVIL PLANS FOR ADDITIONAL SITE INFORMATION.
- F. SEE DOOR AND WINDOW SCHEDULES ON A-600 SERIES SHEETS FOR TYPES, SIZES & DETAILS.
- G. CROSS REFERENCE & VERIFY ALL FINISH FLOOR HEIGHTS WITH CIVIL PLANS.
- H. REFER TO KEYNOTES AND DETAILS FOR ADDITIONAL INFO.
- I. ALL GYP. BOARD AT INTERIOR WALLS TO BE 5/8".
- J. ALL INTERIOR PAINT, PLASTER FINISHES TO BE LOW OR NO VOC.
- K. ALL CABINETS, TRIM, AND INTERIOR FINISHES TO BE OWNER SELECTED.
- L. ENCLOSED ROOF EAVES, ROOF EAVE SOFFITS, AND EXTERIOR PORCH CEILINGS SHALL HAVE A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3, CBC707A.5 thru 8, CRC R337.7.5 thru 8
- M. DUCTS IN THE BASEMENT/CRAWL SPACE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE BASEMENT/CRAWL SPACE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE (0.48 MM) SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE BASEMENT/CRAWL SPACE. CRC R302.5.2
- N. WHEN THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BACONIES AND STAIRS OR ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE BUILDING, THE WALKING SURFACE MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF CBC SECTION 709A.5 [CRC R337.9.3] WHERE THE WALKING SURFACE MATERIAL SHALL BE CONSTRUCTED WITH IGNITION-RESISTANT MATERIAL COMPLIANT WITH PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND 12-7A-5.
- O. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [CBC 705A.4 / CRC R337.5.4]
- P. EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN DOORS SHALL BE DUAL GLAZED UNITS WITH A MINIMUM OF ONE TEMPERED PANE (CBC 2406) OR SHALL BE GLASS BLOCK UNITS. SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MIN. [CBC 708A.2.1 & 708A.3.1, CRC R337.8.2.1 & R337.8.3.1]
- Q. SAFETY GLAZING SHALL BE CATEGORY II STFY GLAZING TESTED IN ACCORDANCE WITH CPSC 16 CFR 1201 AS REQUIRED BY [CRC R308.3.1] AND IN CONFORMANCE WITH THE APPLICABLE CHAPTER [CRC R308.1] IN THE FOLLOWING AREAS:
  - GLAZING WITHIN 24" OF DOORS
  - GLAZING IN ANY PORTIONS OF TUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET [CRC R308.4.5]
  - GLAZING IN STAIR LANDINGS AND WITHIN 60" OF THE BOTTOM AND TOP OF THE STAIRWAY.
  - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
- R. ALL EXTERIOR WALLS USE R-21 BATT MIN. ROOF & EAVE CAVITIES SHALL BE DEMILEC APX 1.2 R-value of R-3.7/INCH (ICC-ES ACC-377 appendix X compliant) [ICC ESR-3470] SPRAY FOAM INSULATION WITH MIN R-8. REFER TO TITLE 24 ENERGY CALCULATIONS FOR MORE INFORMATION.
- S. EXTERIOR WALL ASSEMBLIES ON THIS STRUCTURE SHALL COMPLY WITH WUI PROVIDING A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY DESIGNED FOR EXTERIOR FIRE EXPOSURE PER CBC 707A3.1, CRC R337.7.3
- T. EXTERIOR WALL COVERINGS SHALL EXTEND FROM TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. CBC707A.3.1, CRC R33.7.7.3.1
- U. FIRE BLOCKING SHALL BE PROVIDED:
  - 1) IN CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS @ 10' INTERVALS ALONG WALLS.
  - 2) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
  - 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AND THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN-LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
  - 4) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILINGS AND FLOOR LEVELS, WITH INCOMBUSTIBLE MATERIALS.
  - 5) AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.
- V. MIN. 5/8" TYPE "X" GYPSUM BOARD APPLIED ON THE CEILING OF BASEMENT/CRAWLSPACE SIDE WHERE HABITABLE ROOM IS LOCATED ABOVE (INCLUDING STRUCTURAL MEMBERS SUPPORTING THE UPPER FLOOR, CEILING, POST AND BEAM) PER TABLE R302.6
- W. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7SQ. FT. (EXCEPT AT GRADE FLOOR OPENING SHALL BE MIN. 5 SQ. FT.) MIN. NET WINDOW OPENING HEIGHT DIMENSION, 24" CLEAR, MIN. NET OPENING WIDTH DIM. 20" CLEAR, FINISHED SILL HEIGHT MAX 44" ABOVE FLOOR. CRC R310.2.1
- X. PLUMBING FIXTURES AND PLUMBING FITTINGS SHALL MEET THE STANDARDS AS OUTLINED ON SHEET GN-003 PER SECTION C6B-C4.303
- Y. ALL SOLID FUEL BURNING APPLIANCES MAY BE INSTALLED ONLY IF EPA CERTIFIED AS REQUIRED BY THE AIR POLLUTION CONTROL BOARD. EXCEPTION B APPROVED GAS APPLIANCES. EXTERIOR FIRE PLACES STANDING ALONE AS GARDEN & BBQ APPLIANCES

MEMO/REVISION: DATE:  
 PLANNING SHO 2nd SUBMITTAL 04/25/2023  
 PLANNING SHO 3rd SUBMITTAL 06/08/2023  
 PLANNING SHO 4th SUBMITTAL 08/14/2023



**BILDSTEN ARCHITECTURE and PLANNING**  
 30 WEST FIGUEROA ST | SB CA 93101 | 805.845.2446

NOT FOR CONSTRUCTION

**FISHER ADU**  
 952 ALAMEDA PADRE SERRA  
 SANTA BARBARA, CA 93103  
 PROJECT:  
 APN: 019-252-015

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 SCALE: AS NOTED  
 PRINT DATE: 11/29/23  
 SHEET:

**FLOOR PLANS**  
 SHEET 11 of 38

**A101**

FILE LOCATION: M:\arch\proj - Mechanical\Arch\019-252-015\Floor Plans\A101.dwg | DATE: 11/29/23 | PRINT DATE: Wednesday, November 29, 2023

NOT FOR CONSTRUCTION

PROJECT:  
**FISHER ADU: FRONT YARD MODIFICATION**  
 952 ALAMEDA PADRE SERRA  
 SANTA BARBARA, CA 93103

APN: 019-252-015

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THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS IN THE JOB SITE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

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 DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND IMMEDIATELY REPORT ANY DISCREPANCIES OR VARIATIONS TO THE ARCHITECT AND/OR OWNER'S REPRESENTATIVE.

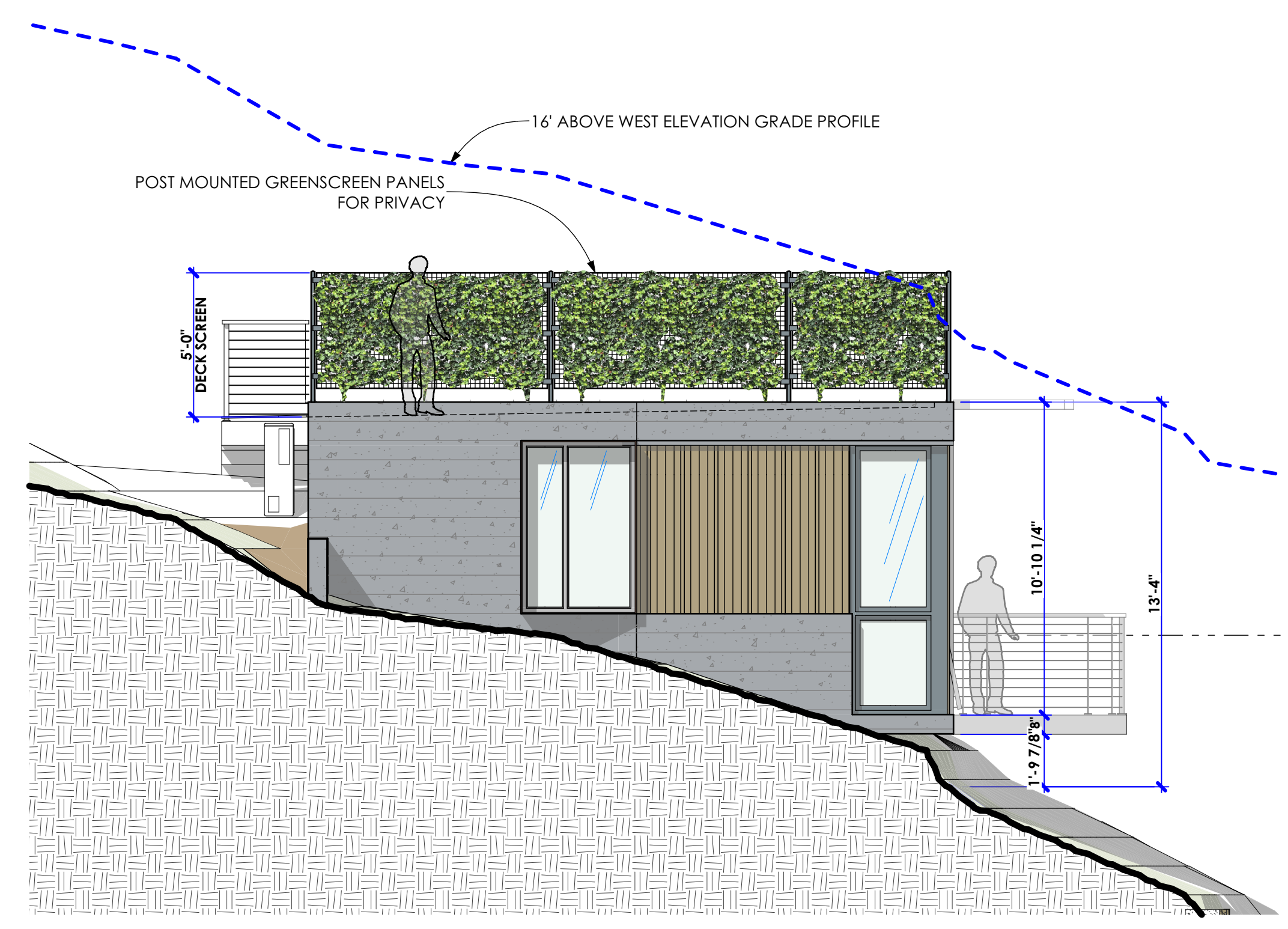
SCALE: AS NOTED

PRINT DATE: 11/29/23

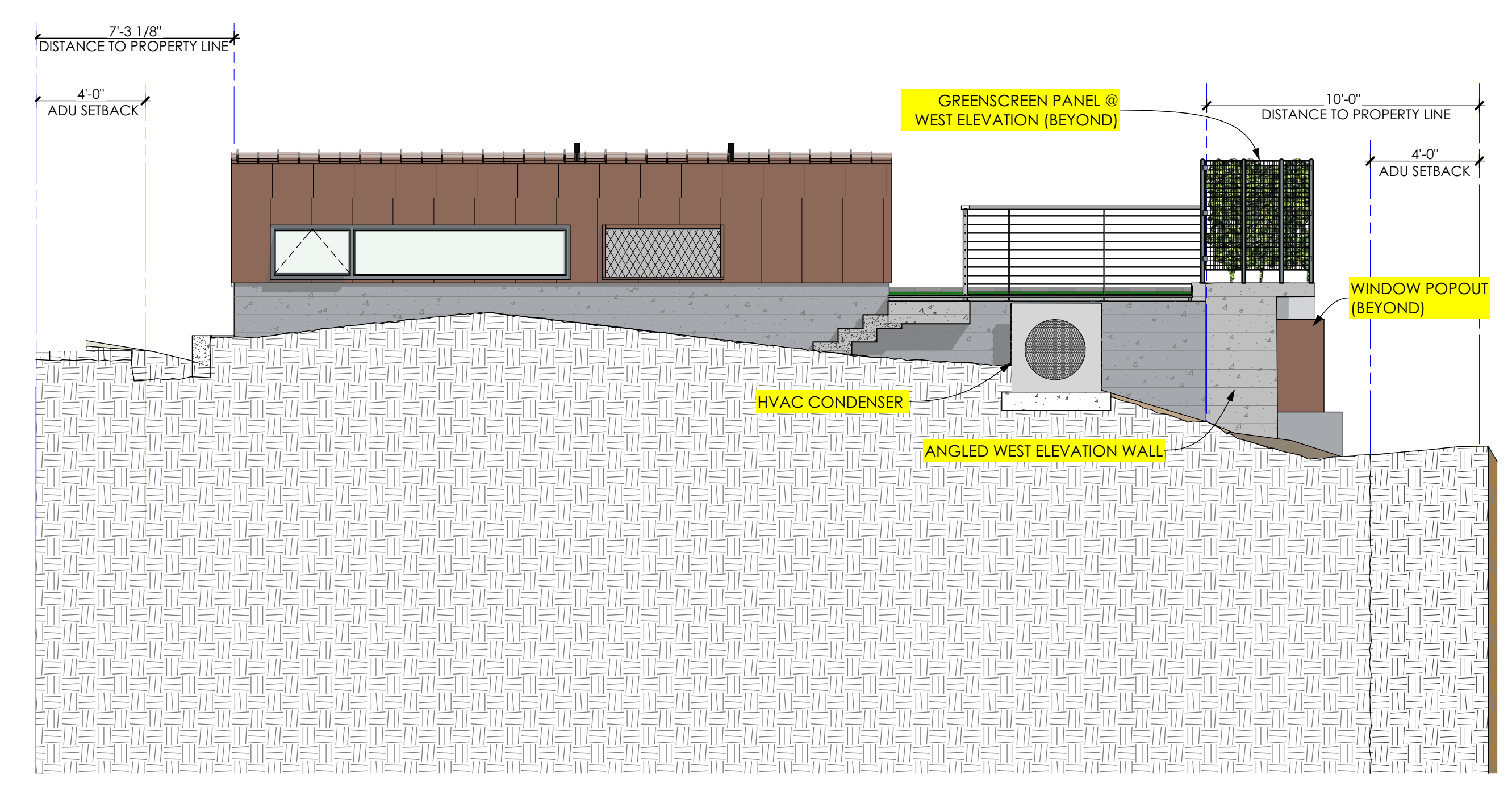
SHEET: EXTERIOR ELEVATIONS

SHEET #LayNoinSubset of 38

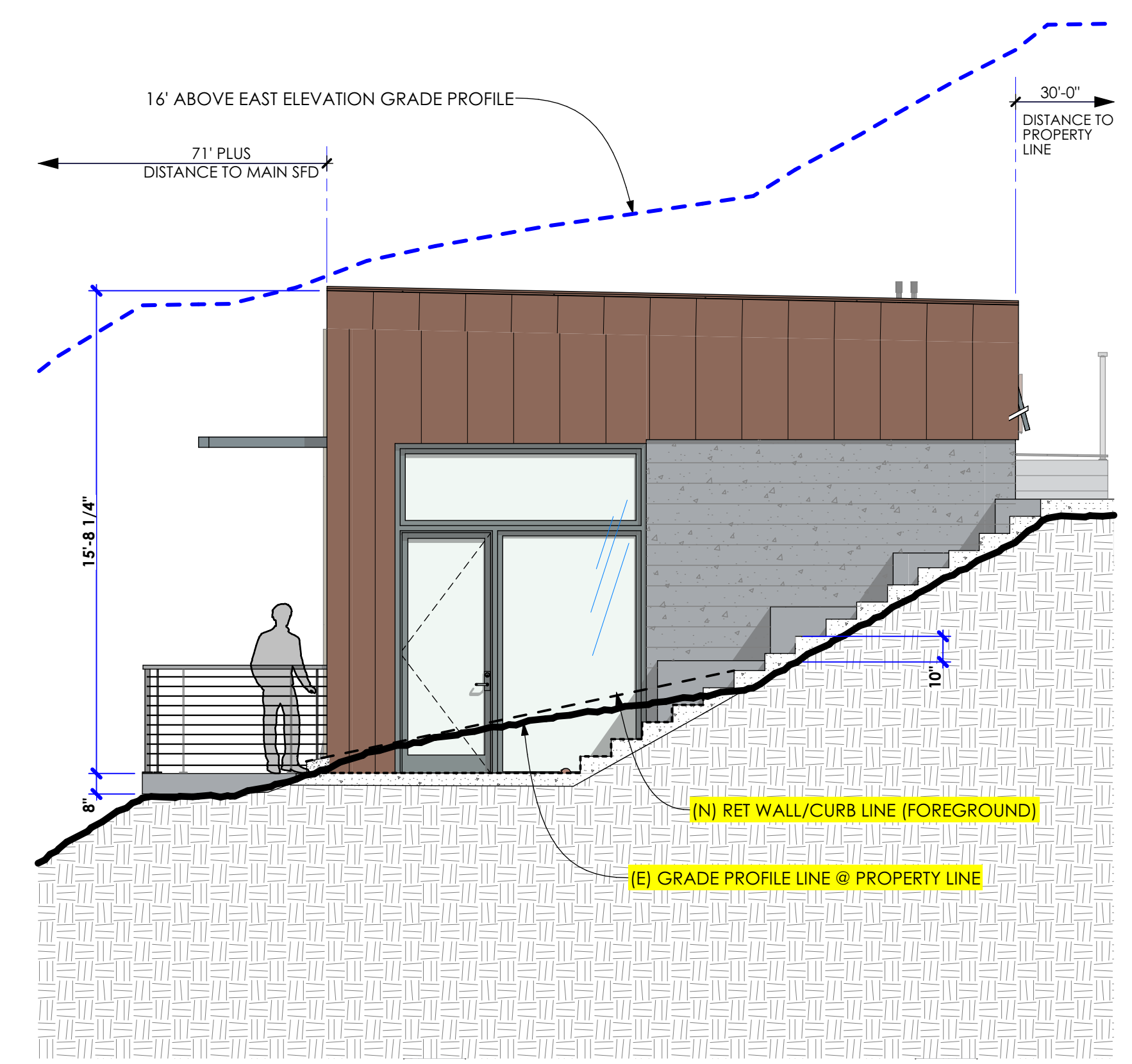
**A201**



**1 WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**3 EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**4 SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"

THE LOCATION, MATERIALS, AND DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE ARCHITECT'S VISUAL SURVEY. THE ARCHITECT HAS NOT CONDUCTED A SURVEY OF THE SITE AND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

**FRONT YARD SET BACK TREE REMOVAL  
REQUEST**

**April 2024**

*Date:* 3/26/2024

*Requested by:* Liz and Jon Brady [lizbradyart@gmail.com](mailto:lizbradyart@gmail.com)

*Address:* 403 E. Valerio Street, Santa Barbara, CA 93101

*Location of Tree:* 403 E. Valerio Street, Santa Barbara, CA 93101

*Tree Species:* *Platanus x hispanica*, *Common Name:* London Plane Tree

*Zoning/Setback:* R-2- 20'

*Reason for Removal:* Sycamore is too close to large oak and has been crowding it for years. Nick Gosnell recommends removal as he feels it is doing damage to the oak. Sycamore tree has Anthracnose and might be spreading it to the oak tree.

*Proposed Replacement:* Yes  No

*Advisory Committee Recommendation:* Approve Removal:  Deny Removal:  N/A

*Staff Recommendation:* Approve Removal:  Deny Removal:  N/A

*Date Posted:*

*Comments:*

**PHOTO INVENTORY**



Front Yard 403 E. Valerio Street – Liz and Jon Brady 4-24-24



# Tree Removal Application

## APPLICANT/OWNER DETAILS

YOUR LAST NAME     
  YOUR FIRST NAME

OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)

YOUR MAILING ADDRESS

CITY     
  STATE     
  ZIP CODE

DAYTIME PHONE     
  EMAIL ADDRESS

## TREE INFORMATION

TYPE OF TREE:   
 SETBACK TREE(S)    
 STREET TREE(S)

NUMBER OF TREES     
  LOCATION OF TREE(S) - please be sure to indicate the **property address** where the trees are located

SPECIES OF TREE(S), IF KNOWN

- REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:**
- Whether or not the removal application is associated with new development or redevelopment of property
  - Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
  - Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark
- If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

Hello,  
 We have a Sycamore tree that was planted too close to our large Valley Oak and has been crowding it for years. The Sycamore takes all the sun throughout the day and the valley oak leaves are always mossy and unhealthy looking. We have cut it back over the years but it has gotten larger and the problem is getting worse. Our arborist Nick Gosnell, recommended that we contact the city and ask for it's removal as he feels it is doing damage to the Valley Oak. He also said that the Sycamore tree has Anthracnose and might be spreading to the Oak tree. The sycamore also grows into the power lines and SCE has to cut it back each year which makes it lopsided and causes the branches to further encroach on the Valley Oak. We are tree lovers and have many beautiful trees on our property and do not take the removal of the Sycamore lightly. We are sorry to have to even ask this but the health of the Valley Oak is very important to us and our property.

WILL YOU REPLACE THE TREE(S)?    YES     NO

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?



**FRONT YARD SET BACK TREE REMOVAL  
REQUEST**

**April 2024**

*Date:* 3/26/2024

*Requested by:* Guillaume de Zwirek [Guillaume.dezwirek@gmail.com](mailto:Guillaume.dezwirek@gmail.com)

*Address:* 1437 San Miguel Avenue, Santa Barbara, CA 93109

*Location of Tree:* 2501 Medcliff Road, Santa Barbara, CA 93109

*Tree Species:* *Schinus terebinthifolius,* **Common Name:** Brazilian Pepper

*Zoning/Setback:* RS-7.5 20'

*Reason for Removal:* We want to replace the tree because Brazilian peppers are highly invasive, and not good for native plants.

*Proposed Replacement:* Yes  *Mature box Jacaranda.* No

*Advisory Committee Recommendation:* Approve Removal:  Deny Removal:  N/A

*Staff Recommendation:* Approve Removal:  Deny Removal:  N/A

*Date Posted:*

*Comments:*

**PHOTO INVENTORY**



Front Yard 2501 Medcliff Road – Guillaume de Zwirek 4-24-24

# Tree Removal Application

## APPLICANT/OWNER DETAILS

de Zwirek Guillaume  
 YOUR LAST NAME YOUR FIRST NAME

Guillaume de Zwirek  
 OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)

1437 San Miguel Ave  
 YOUR MAILING ADDRESS

Santa Barbara CA 93109  
 CITY STATE ZIP CODE

805.455.1957 guillaume.dezwirek@gmail.com  
 DAYTIME PHONE EMAIL ADDRESS

## TREE INFORMATION

TYPE OF TREE: **SETBACK TREE(S)**  **STREET TREE(S)**

1 2501 Medcliff Rd Santa Barbara, CA 93109  
 NUMBER OF TREES LOCATION OF TREE(S) - please be sure to indicate the **property address** where the trees are located

Brazilian Pepper  
 SPECIES OF TREE(S), IF KNOWN

**REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:**

- Whether or not the removal application is associated with new development or redevelopment of property
- Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
- Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark

If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

This removal is not associated with a development, although we do have an approved development project beginning on the property soon.

We want to replace the tree because brazilian peppers are HIGHLY invasive, and not good for native plants. My wife (Katie Gerpheide) is in an arboriculture class with Bill Spiewak who also recommended we remove - please let us know if it would be helpful to get that feedback in writing.

The tree is within the front yard setback, although I would note that as a development condition our side yard setback was increased to 10 ft, normally this tree would not fall within the setback. I would be happy to share our survey.

WILL YOU REPLACE THE TREE(S)? **YES**  **NO**

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?  
 Mature box jacaranda.



2417

25 3

**FRONT YARD SET BACK TREE REMOVAL  
REQUEST**

**April 2024**

*Date:* 3/26/2024

*Requested by:* Mike Gones [mikegonesce@outlook.com](mailto:mikegonesce@outlook.com)

*Address:* 1219 ½ Laguna Street, Santa Barbara, CA 93101

*Location of Tree:* 1518 Bath Street, Santa Barbara, CA 93101

*Tree Species:* *Araucaria columnaris,* *Common Name:* Cook Pine

*Zoning/Setback:* R-MH 10'

*Reason for Removal:* Tree has grown excessively large and leaning significantly towards neighbor and public right of way. Tree roots are uplifting/damaging our patio and growing towards our house foundation. If the tree falls it will do serious damage to neighbor's house and or fall onto the street and damage cars or hurt pedestrians.

*Proposed Replacement:* Yes  *Semi dwarf Navel or Valencia Orange.* No

*Advisory Committee Recommendation:* Approve Removal:  Deny Removal:  N/A

*Staff Recommendation:* Approve Removal:  Deny Removal:  N/A

*Date Posted:*

*Comments:*

**PHOTO INVENTORY**



Front Yard 1518 Bath Street – Mike Gones 4-24-24

# Tree Removal Application

## APPLICANT/OWNER DETAILS

Gones   
 YOUR LAST NAME YOUR FIRST NAME

OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)

1219 1/2 Laguna St  
 YOUR MAILING ADDRESS

Santa Barbara    
 CITY STATE ZIP CODE

8059662259   
 DAYTIME PHONE EMAIL ADDRESS

## TREE INFORMATION

TYPE OF TREE: **SETBACK TREE(S)**  **STREET TREE(S)**

NUMBER OF TREES LOCATION OF TREE(S) - please be sure to indicate the **property address** where the trees are located

SPECIES OF TREE(S), IF KNOWN

**REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:**

- Whether or not the removal application is associated with new development or redevelopment of property
- Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
- Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark

If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

Tree has grown excessively large and is leaning significantly towards neighbor and public right of way. neighbor is complaining. Tree roots are uplifting/damaging our patio and growing towards our house foundation . We are worried that if tree falls it will do serious damage to neighbors house and/or fall onto Bath street and damage cars or hurt pedestrians.

this is not a specimen or historic tree and is not associated with any proposed development.

see attached arborist report

WILL YOU REPLACE THE TREE(S)? YES  NO

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?

semi dwarf Navel or Valencia Orange that grows to about 12 ft.

**APPLICATION FEE**

Street Tree Removal Application \$325/Setback Tree Removal Application \$125; we accept cash, check, or credit card. If paying by credit card, staff will contact you to arrange payment.

PLEASE PROVIDE THE FOLLOWING SUPPLEMENTAL INFORMATION:

1. Photo of tree(s) proposed for removal
2. Development plan/landscape plan

**REMOVAL APPLICATION REVIEW**

**SETBACK TREES**

Chapter 15.24 of the City of Santa Barbara Municipal Code establishes protections for privately owned trees. Protected trees include designated Specimen and Historic trees, trees located in the front zoning setback of a parcel, trees located in commercial parking lots, and trees identified on an approved plan. This chapter requires that a property owner apply for a permit to remove or to significantly prune a tree.

Whenever a property owner desires to remove a designated Specimen or Historic tree or a tree located in the zoning setback from the street (setback tree), the applicant shall apply to the Parks and Recreation Department for a removal permit. **Setback tree removal applications are first reviewed by the Street Tree Advisory Committee. A site visit, by the Street Tree Advisory Committee, is included as part of the review process. The Street Tree Advisory Committee makes recommendations to the Parks and Recreation Commission. The review process takes up to 60 days.** Both the Street Tree Advisory Committee and the Parks and Recreation Commission consider tree applications during regularly scheduled public meetings. **If the removal request is approved, the full cost of tree removal and replacement, if required, shall be borne by the applicant.**

**Applications to remove trees located in the El Pueblo Viejo Landmark District, Brinkerhoff Avenue Landmark District, commercial parking lots, or on an approved plan are processed by the Community Development Department.**

**STREET TREES**

Chapter 15.20 of the City of Santa Barbara Municipal Code establishes the permitting requirements for the planting, maintenance and removal of any tree within the parkway strip of any street right-of-way or public area. All trees within a parkway strip are planted and maintained according to the Master Street Tree Plan adopted by the City Council and under the authority of the Parks and Recreation Department. A written permit is required for any person to plant, prune, trim, perform maintenance on, or remove any tree planted in a parkway strip, tree well, public area or street right-of-way.

**Tree Planting/Pruning:** Tree Planting/Pruning applications can be submitted in the form of a letter request to be reviewed and approved by the Urban Forest Superintendent or Parks and Recreation Director. The request shall include clearly, by diagram or plot plan and photograph(s), the location and identity of the tree or trees sought to be planted, or maintained; the name and address of the applicant; name and license number of the contractor that will perform the work; and, any other relevant information.

**Tree Removal:** Street Tree removal applications are reviewed by the Street Tree Advisory Committee. The Street Tree Advisory Committee makes recommendations to the Parks and Recreation Commission. The review process takes up to 60 days. If the tree is found to be in good condition and the removal request is granted solely for the convenience of the applicant, the full cost of such removal and replacement shall be borne by the applicant. If the removal is determined necessary due to the condition of the tree, the City will assume the responsibility for all removal and replacement costs. Tree removal will be scheduled according to other pending priorities.

**APPEAL PROCESS**

If the Parks and Recreation Commission denies a tree removal application, the Commission’s decision can be appealed to the Santa Barbara City Council and a written notice thereof must be filed within 10 days of the Commission’s action. The appeal notice can be either hand delivered to the Clerk’s Office at City Hall, 735 Anacapa Street, Santa Barbara, CA 93101, or mailed to the City Clerk at P.O. Box 1990, Santa Barbara, CA 93102-1990. An appeal processing fee is required in the amount of \$845, as currently set per City Council resolution.

**REMOVAL OF A SETBACK OR STREET TREE WITHOUT A PERMIT**

In December 2009, the City Council established the following fine schedule associated with the removal of a setback tree without a permit.

Action without, or in violation of, a permit	Trunk diameter from 4” up to 12”	Trunk diameter over 12” and up to 24”	Trunk diameter over 24”
Tree Removal	Up to \$1,000	Up to \$3,000	Up to \$5,000

**FOR MORE INFORMATION**

**Nathan Slack**  
 Urban Forest Superintendent  
 Parks and Recreation Department  
 City of Santa Barbara  
 (805) 897-2692 or (805) 564-5592  
[NSlack@SantaBarbaraCA.gov](mailto:NSlack@SantaBarbaraCA.gov)



**CITY OF SANTA BARBARA PARKS AND RECREATION DEPARTMENT**



# Duke McPherson, Arborist

201 East Mountain Drive  
Santa Barbara, CA 93108

Phone 805 705-9529

E-mail: [treemanduke@cox.net](mailto:treemanduke@cox.net)

March 19, 2024

Mike Gones  
1518 Bath Street  
Santa Barbara, CA  
[mikegonisce@outlook.com](mailto:mikegonisce@outlook.com)

## Arborist Report

I visited your property at the above address at your request on February 28 of this year and was shown a tall *Araucaria sp.* conifer in the front yard. It is a healthy specimen though has a somewhat twisted trunk in the lower part of the tree. I noticed a 3-4' long longitudinal line of ruptured bark starting at about eight feet up the trunk. This could be a superficial split or could be the result of an internal rupturing of tree support tissue due to the stress induced by the twisted growth of this tall tree.

I recommend that the tree be removed as it may be considered a hazard to the neighbor to the east.

Duke McPherson  
Certified arborist with the  
International Society of  
Arboriculture  
Certification # WE-690A







3/21/2024  
SET BACK TREE

- STAR JASMINE
- (E) EUGENIA HEDGES
- WHITE AGAPANTHUS

• BEAR'S BREECH

• (E) TRISTANIA

• (E) NORFOLK

• WHITE AGAPANTHUS

• (E) EUGENIA HEDGES

**STREET**

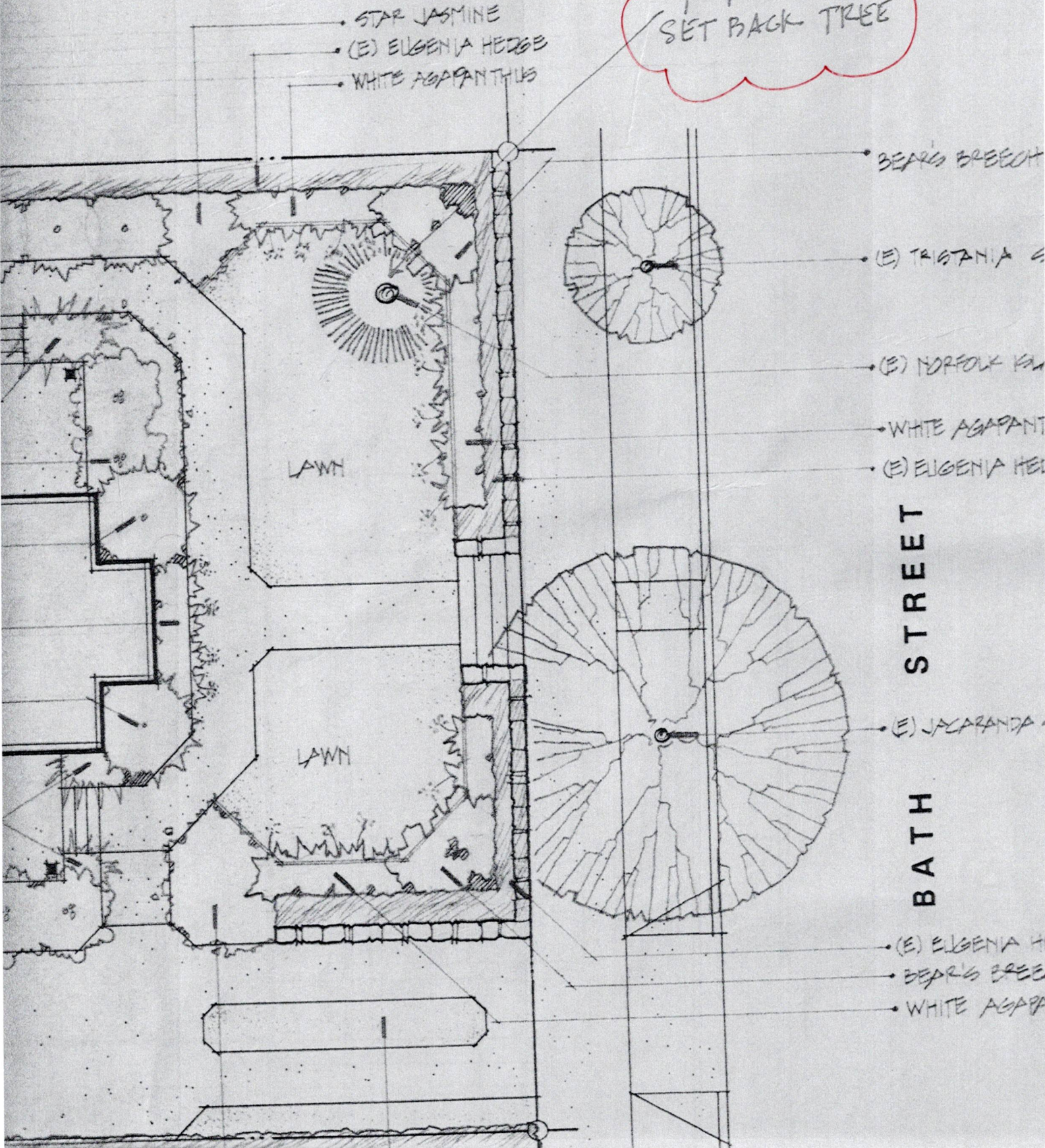
• (E) JACARANDA

**BATH**

• (E) EUGENIA HEDGES

• BEAR'S BREECH

• WHITE AGAPANTHUS



**FRONT YARD SET BACK TREE REMOVAL  
REQUEST**

**April 2024**

*Date:* 3/26/2024

*Requested by:* Louis Manzo [louismanzosb@gmail.com](mailto:louismanzosb@gmail.com)

*Address:* 3877 Center Avenue, Santa Barbara, CA 93110

*Location of Tree:* 3626 Rockcreek Road, Santa Barbara, CA 93105

*Tree Species:* *Liquidambar styraciflua,* *Common Name:* American Sweetgum

*Zoning/Setback:* RS-7.5 20'

*Reason for Removal:* This tree drops thousands of seed pods the size of golf balls with sharp pointed spines. These seed pods are a slipping hazard. I have also had my fire insurance cancelled due to close proximity of the tree to the house. The tree's roots are very invasive and surround the home's foundation, and tree roots are starting to break a retaining wall.

*Proposed Replacement:* Yes  No

*Advisory Committee Recommendation:* Approve Removal:  Deny Removal:  N/A

*Staff Recommendation:* Approve Removal:  Deny Removal:  N/A

*Date Posted:*

*Comments:*

**PHOTO INVENTORY**



# Tree Removal Application

## APPLICANT/OWNER DETAILS

Manzo  Louis   
 YOUR LAST NAME YOUR FIRST NAME

OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)

3877 Center Ave   
 YOUR MAILING ADDRESS

Santa Barbara  CA  93110   
 CITY STATE ZIP CODE

805-570-7274  louismanzosb@gmail.com   
 DAYTIME PHONE EMAIL ADDRESS

## TREE INFORMATION

TYPE OF TREE: SETBACK TREE(S)  STREET TREE(S)

1  3626 Rockcreek Rd., Santa Barbara   
 NUMBER OF TREES LOCATION OF TREE(S) - please be sure to indicate the **property address** where the trees are located

Liquid Amber   
 SPECIES OF TREE(S), IF KNOWN

REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:

- Whether or not the removal application is associated with new development or redevelopment of property
- Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
- Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark

If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

This tree drops thousands of seed pods the size of small golf balls with sharp pointed spines. My son, daughter-in-law and 4 month old grandson now live in the house. These seed pods are a slipping hazard as they fall on the street sidewalks and on our sloping driveway. My son has slipped on these pods while carrying his newborn and neighbors have also complained that they have slipped on these pods. I have a gardener that comes and sweeps them up only to find a hundred more have dropped overnight. I have also had my fire insurance canceled due to the close proximity of the tree to the house. The tree's roots are also very invasive and are surrounding the home's foundation. The roots are also starting to break a retaining wall so unfortunately, it is time to remove the tree. In the last five years I have planted 2 Evergreen Pear trees in the rear yard and an Olive tree in the front yard so I will not be replacing the Liquid Amber.

WILL YOU REPLACE THE TREE(S)? YES  NO

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?







April 2024

## STREET TREE MASTER PLAN SPECIES DESIGNATION CHANGE FOR ADOPTION

Date: 3/26/2024

Location: 500 – 700 blocks of N. Salsipuedes Street

Parkway Width: 500 – 600 blocks: 5.5' and 700 block: 3'

Present Species Designation:

500-600 Blk.	<i>Pinus canariensis</i>	Canary Island Pine
700 Blk.	<i>Prunus cerasifera</i> <i>'Atropurpurea'</i>	Purple Leaf Plum

Current Species Profile:

Botanical Name	Quantity
Afrocarpus gracilior	1
Ligustrum lucidum	1
Pinus canariensis	16
Prunus cerasifera	5
Prunus cerasifera 'Krater Vesuvius'	2
<b>Grand Total</b>	<b>25</b>